



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

April 25, 2025

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Calley Mersmann, Director

Evelyn Rueda, Administrator



Cleveland City Planning Commission

P R E A M B L E

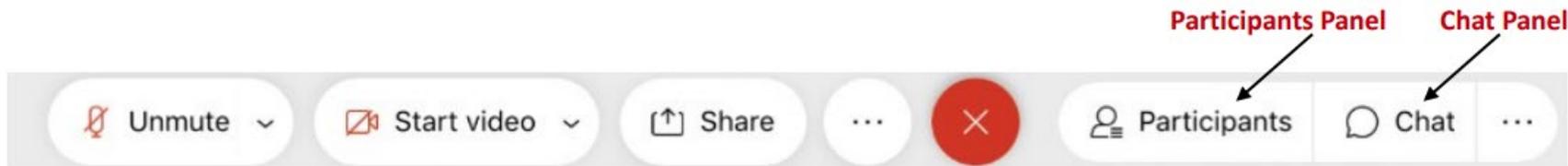
In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the codified ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

All boards and commissions under the purview of the city planning department conducts its meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.

CALL-IN USERS CAN UNMUTE BY USING *6



Apr 25, 2025

Cleveland City Planning Commission

P R E A M B L E

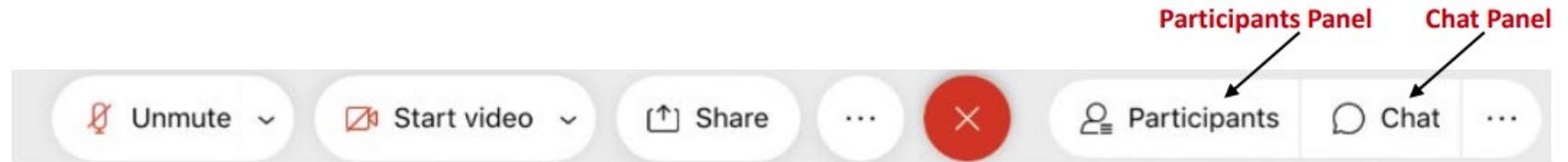
All meeting activity is being recorded via the Webex platform. these proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration. Any comments received by the **Wednesday 12:00 pm** deadline are collected by city planning staff and Disseminated to the commission members prior to any scheduled meeting.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Apr 25, 2025

Cleveland City Planning Commission

Meeting Rules and Procedures

- **The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.**
- **Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.**
- **Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.**
- **Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.**
- **Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.**
- **The Chair will then request a recommendation from staff, if applicable.**
- **The Commission will then begin deliberations and project review.**
- **Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.**

Lillian Kuri, Chair

Apr 25, 2025

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray-Scott

Erika Anthony

Andrew Sargeant

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Cleveland City Planning Commission

Lot Splits/Consolidations



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Lot Splits/Consolidations

Project Address: 1666-1670 West 69th Street

Apr 25, 2025

P.P.N.s: 00223104 & 00223105

Type: Lot Split & Consolidation

Project Representative: Marissa Harrison, Owner



- Trey and Marissa Harrison
- Moved to Cleveland, OH in Apr. 2020 for Trey's job at NASA Glenn
- Bought 1st home (1666 W. 69th St) in Dec. 2021
- Seeking approval for purchasing part of neighboring 1670 lot

1666 W 69th St

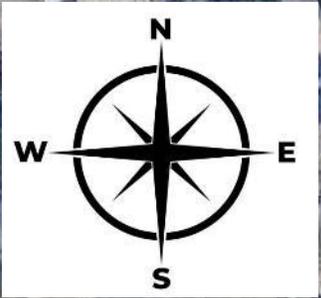
Cleveland, Ohio

 Google Street View

Aug 2022 [See more dates](#)



1666

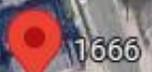


Detroit Rd



Future Goodwill
(former Rite Aid)

Gallagher K-8
School



1666

W Clinton Ave

Franklin Blvd

W 65th St

Franklin Blvd

Bridge Ave

Bridge Ave

Nehemiah Mission
of Cleveland

Cleveland House

Cogswell Hall Inc

Peruvian Cultural
Association of...

Frank's Falafel
Mediterranean

Franklin Reading Garden

W 73rd St

W 71st St

W 69th St

Fir Ave

W 65th St

W 64th Pl

W 64th Pl

W 64th Pl

W 64th Pl

Franklin Ave

Ellen St

Franklin Ave

1666 W 69th St

Cleveland, Ohio

 Google Street View

Aug 2022 See more dates

1670



(1668)



1666



66 W 69th St

Cleveland, Ohio

Google Street View

2019 See latest date

June 2019



Search Google Maps



1666 W 69th St

Cleveland, Ohio

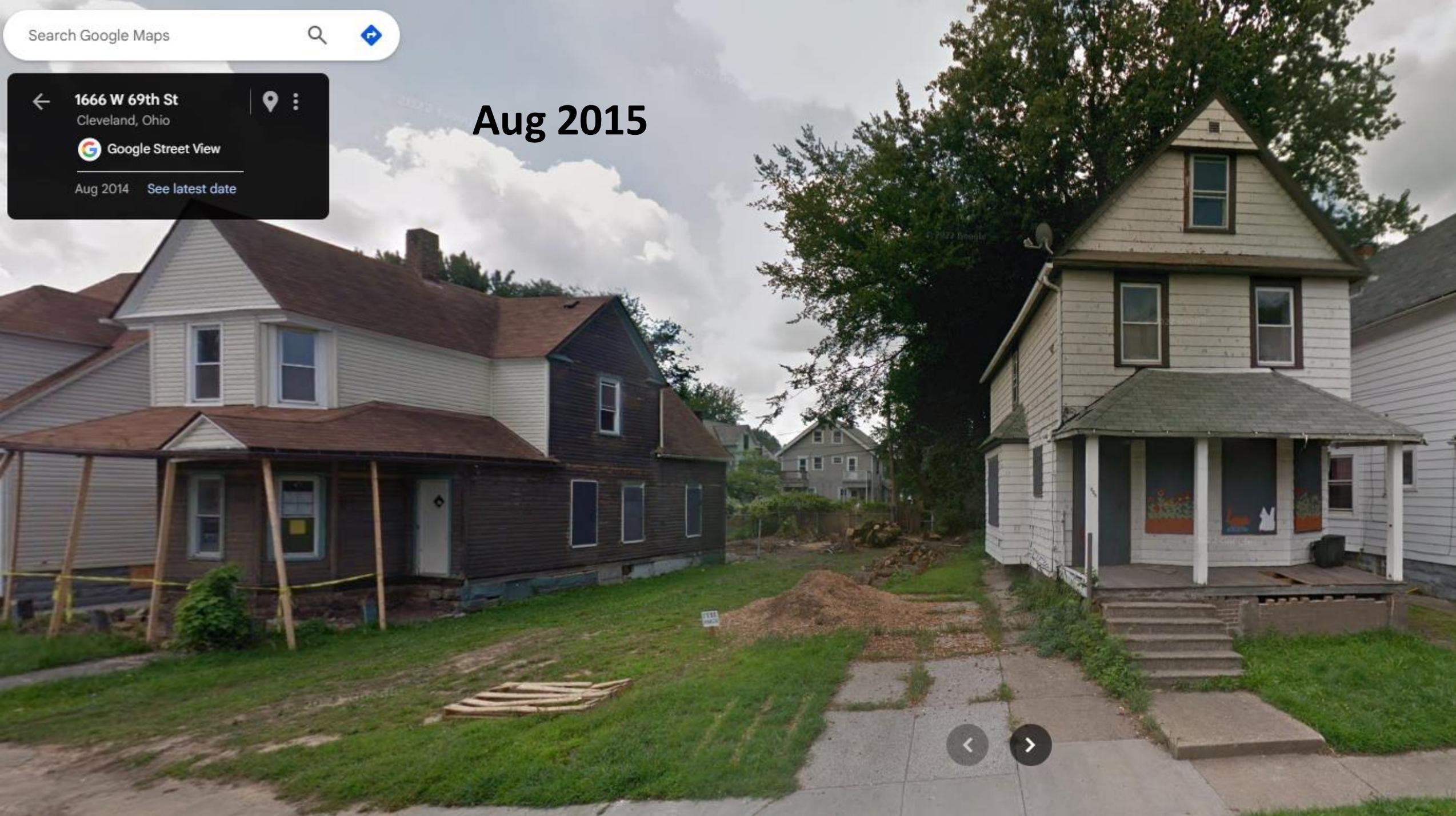


Google Street View

Aug 2014

[See latest date](#)

Aug 2015



Sept 2009

1670

1668

1666



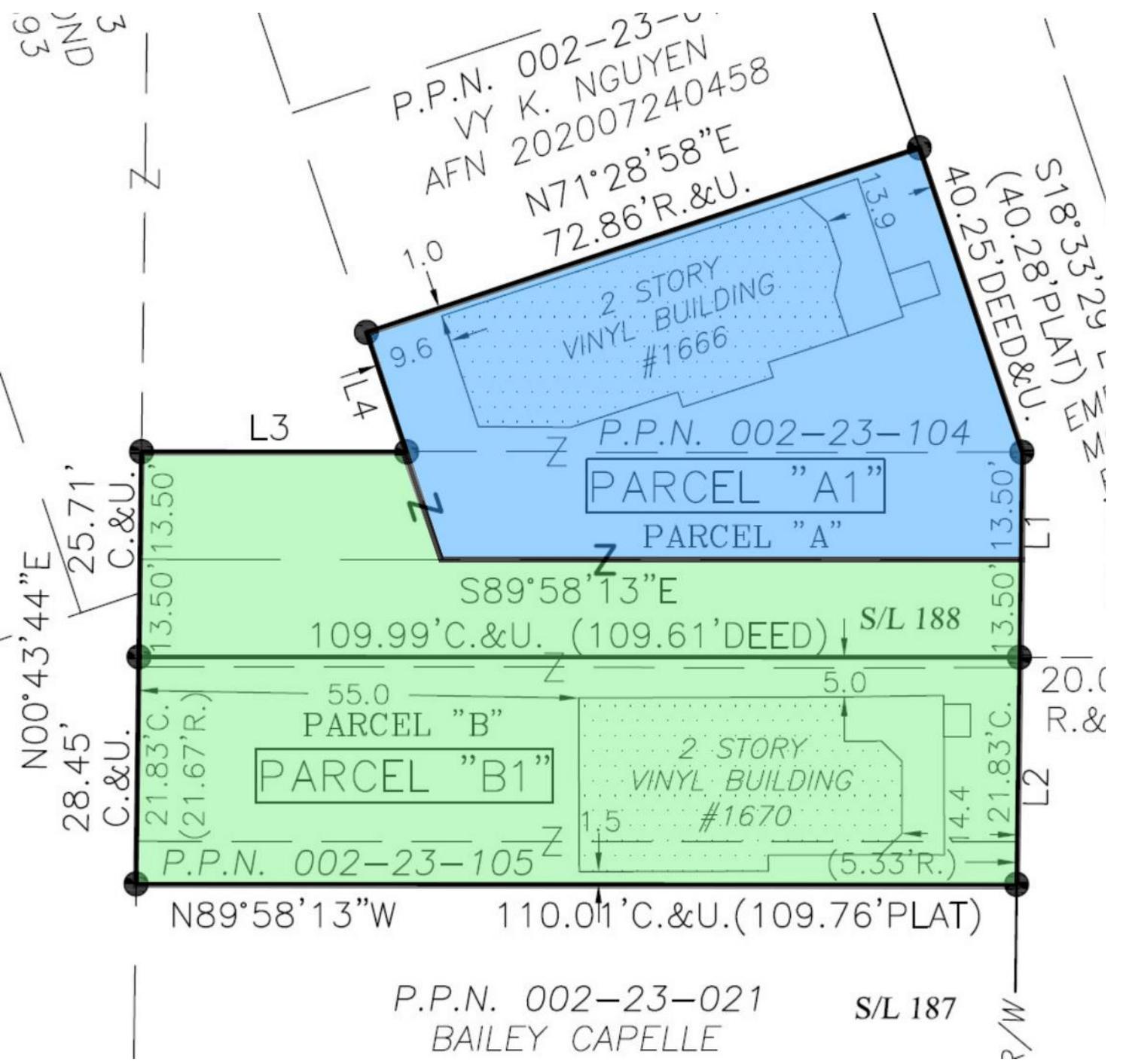
Recent Lot History of 1666, 1668, and 1670 W. 69th St

In 2019 after land bank sale of 1668 to 1666 and 1670:

 1666 (undergoing renovation)

 1670 (occupied)

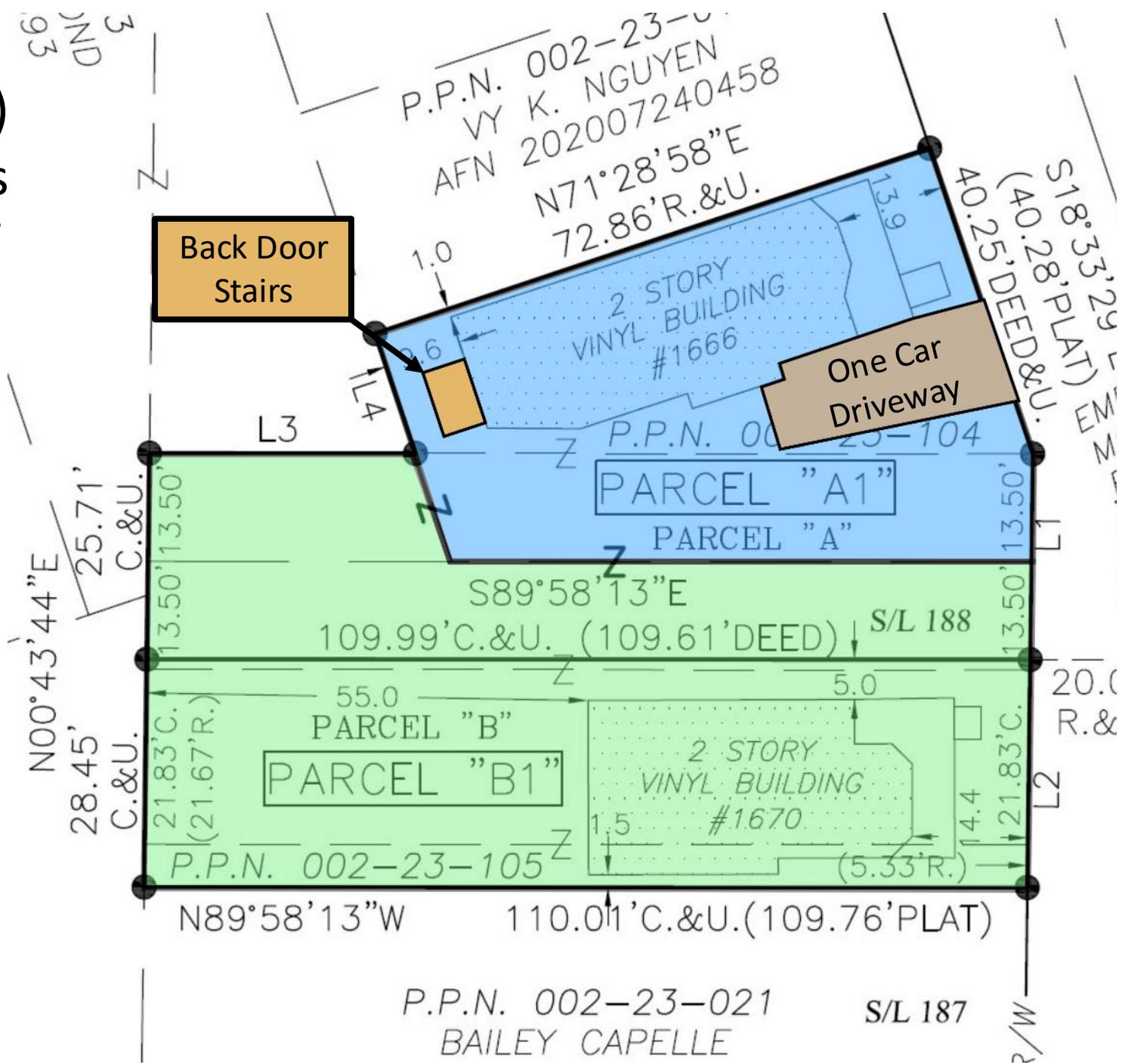
These are the current property lines of 1666 (Parcel A) and 1670 (Parcel B).



With the current property lines, 1666 owns 0.07 acres (3049 sqft) and little yard with the rear stairs and driveway occupying much of the possible green space.

 1666 (occupied, Harrison)

 1670 (occupied, Nichols)



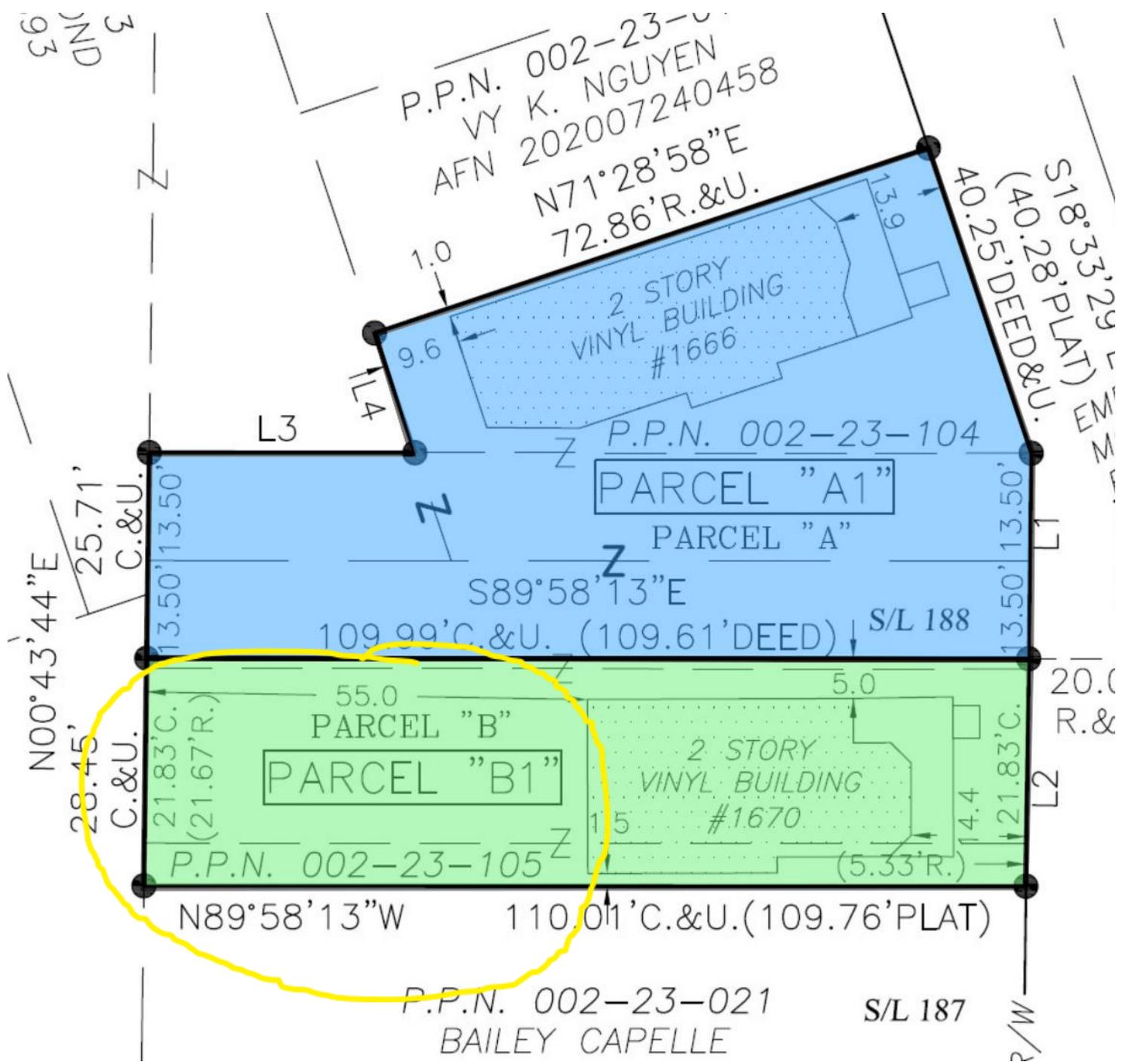
We propose, with the support and consent of the owners of 1670, to purchase part of the 1668 lot with adherence to current setbacks:

 1666 (occupied, Harrison)

 1670 (occupied, Nichols)

1670 would retain backyard greenspace

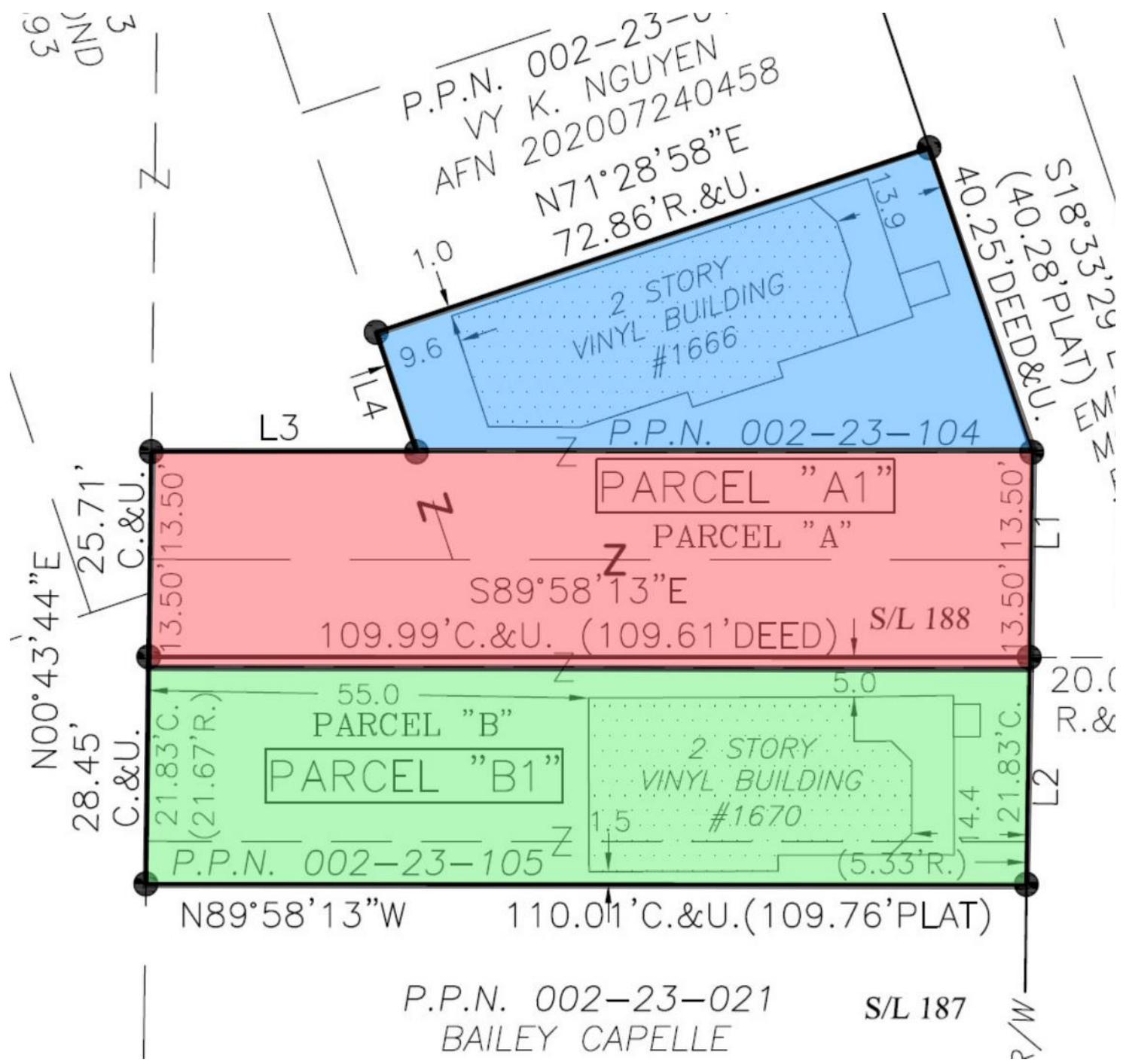
5.0' property line adherence (adjusted original property lines)



Recent Lot History of 1666, 1668, and 1670 W. 69th St

Prior to land bank sale in 2019:

- 1666 (vacant since ~2010)
- 1668 (vacant, structure razed in 2013)
- 1670 (renovated ~2015)



Thank you for your time today!

Marissa Harrison

(813) 494-6507

marissatweedharrison@gmail.com

Taylor Nichols

(630) 398-1981

taylorwarrick5@gmail.com

Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Near West Design Review

NW2025-008 – Vega Avenue Studio Lofts

Apr 25, 2025

Project Address: 2700 Vega Ave

Type: New Construction of an apartment complex

Project Representative: Roberto Vega Peralta, VOCON

Approval: Final

Ward 3 – Councilmember McCormack | **SPA: Clark-Fulton**

vocon.

DESIGN REVIEW SUBMISSION

APRIL 2 2025

**VEGA ZONE ASSEMBLY, LLC
VEGA AVENUE STUDIO LOFTS**

CITY CONTEXT AERIAL



DISTRICT CORRIDOR AERIAL



NORTH

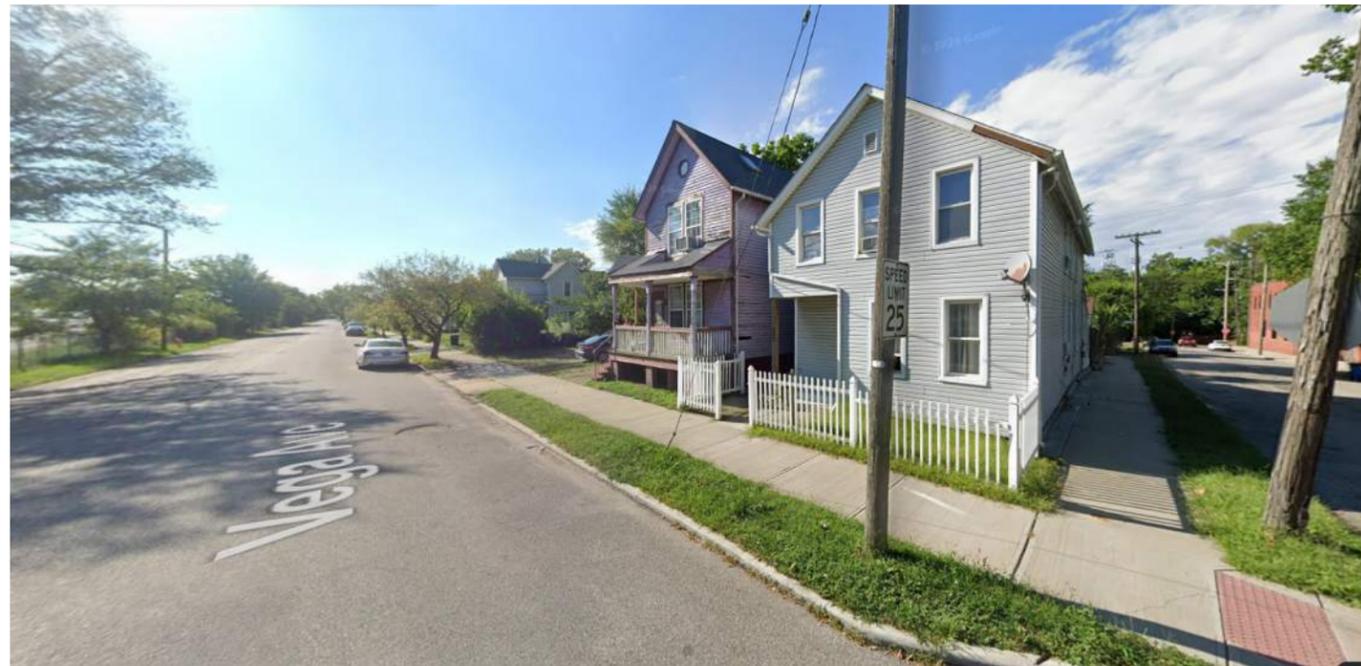
EXISTING NEIGHBORHOOD CONTEXT



VEGA AVENUE WEST OF SITE



BEGINNING OF VEGA AVENUE EAST OF SITE



BUILDINGS ON VEGA AVENUE WEST OF SITE



BUILDINGS ON WEST 25TH STREET AT THE BEGINNING OF VEGA AVENUE EAST OF SITE

EXISTING NEIGHBORHOOD CONTEXT



VEGA AVENUE WEST NEIGHBOR



BARBER COURT NORTH NEIGHBOR - BVQ LOFTS



VEGA AVENUE EAST NEIGHBOR



NORTH NEIGHBOR - BVQ LOFTS VIEW FROM BARBER AVENUE

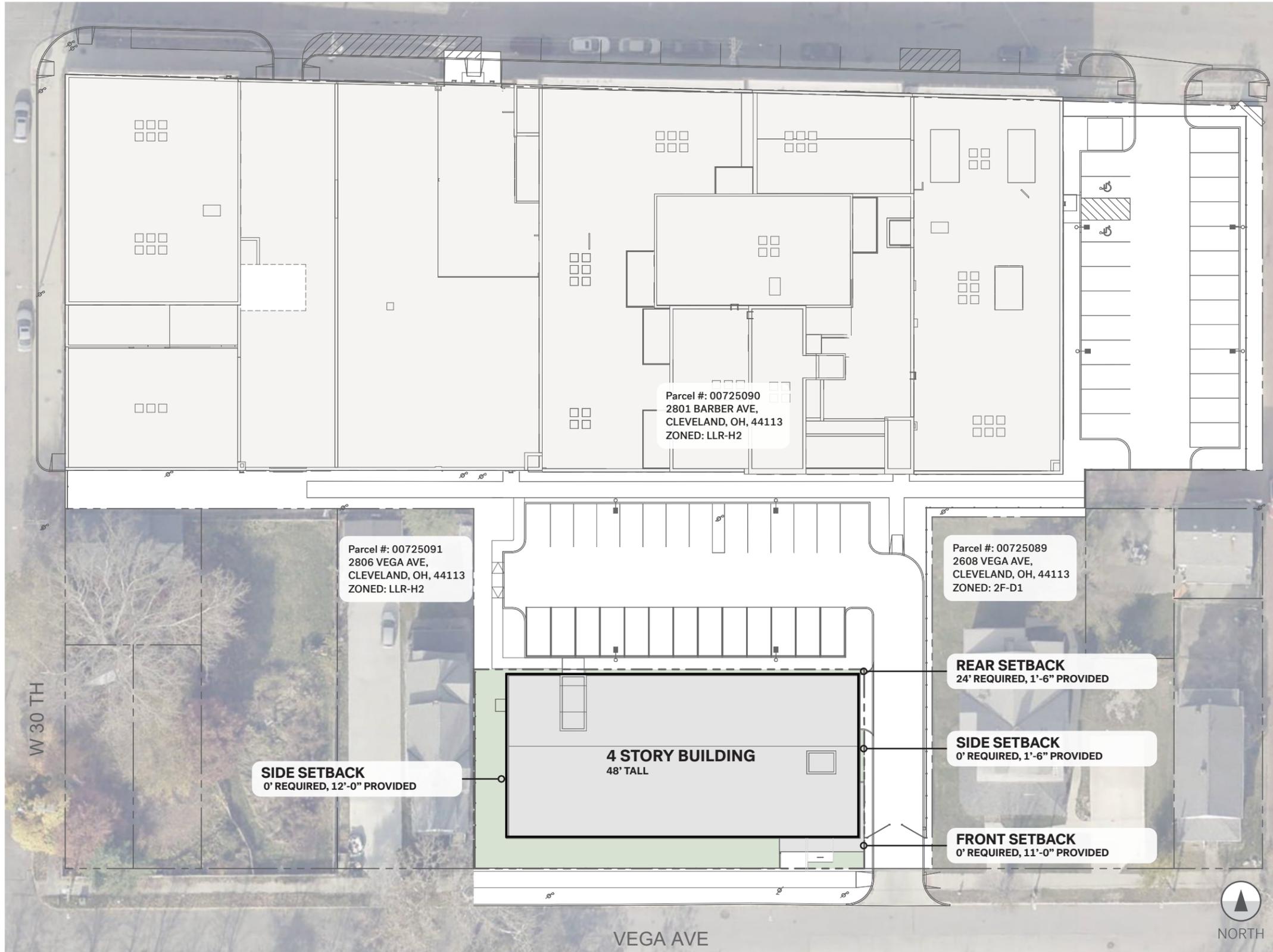


NORTH NEIGHBOR - BVQ LOFTS



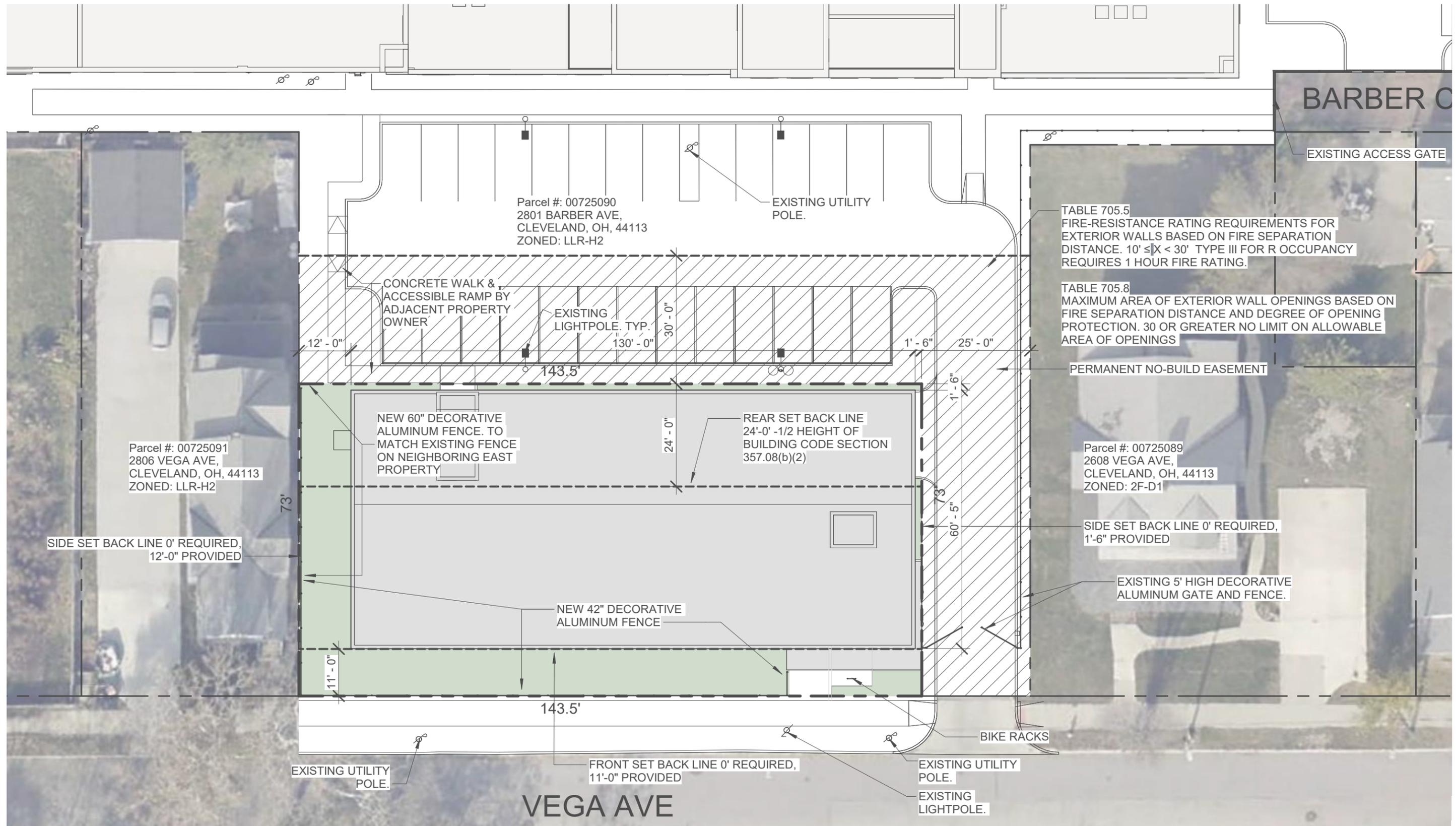
SOUTH VIEW FROM VEGA AVENUE - 90 NW FREEWAY

ZONING SITE PLAN



SITE ZONING DATA			
PROJECT INFORMATION			
PROJECT NAME:	VEGA AVENUE STUDIO LOFTS		
LAND USE CODE:	City of Cleveland, Part IIIA: Land Use Code - Planning and Housing; Title 1: Planning		
ZONING CODE:	- Zoning Code; Title VII: Zoning Code		
ADDRESS:	2700 VEGA AVE CLEVELAND, OH 44113		
PARCEL NUMBER:	007-25-088		
DISTRICT NAME:	LLR-H2		
USE DISTRICT:	LIMITED RETAIL BUSINESS		
AREA DISTRICT:	(H) MAX GROSS FLOOR AREA= 4 X LOT AREA		
HEIGHT DISTRICT:	(2)= 60'-0"		
BUILDING METRICS			
EXISTING USES/OCCUPANCY:	COMMERCIAL VAC LAND		
PROPOSED USES/OCCUPANCY:	Residential Use (Apartment)		
BUILDING AREA BY USE:	R-2: 27,105 SF +/- Gross Floor Area per 325.24		
TOTAL FOOTPRINT:	7,828 SF +/- (First Floor Footprint)		
TOTAL SQUARE FOOTAGE:	31,390 SF +/- (Gross Building Area)		
SITE ACREAGE:	10,476 sqft = .024 ACRES		
PROJECT NOTES:			
ZONING STANDARDS AND RESTRICTIONS			
BUILDING REQUIREMENTS			
	CHAPTER	REQUIRED	PROPOSED
MAXIMUM GROSS FLOOR AREA	355.04	4 x lot area= 41,904 sqft	27,105 sqft
MINIMUM LANDSCAPE AREA:			
BUILDING HEIGHT REQUIREMENTS			
HEIGHT LIMIT (STORIES):			
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
HEIGHT LIMIT (FEET):			
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
BUILDING SETBACK REQUIREMENTS:			
FRONT YARD: TO ANY FRONT PROPERTY LINE			
Property is Limited Retail District. 357.04 sets front yard regulations for Residence Districts and Local Retail Business Districts only.			
		0'	11'-0"
SIDE YARD:			
Abutting LLH - Limited Retail Business District to the west and to the east			
	357.09(b) (2) (f)	0'	12'-0" west & 1'-6" east
REAR YARD:			
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
	357.08 (b)(2)	1/2 HEIGHT OF BUILDING= 24'-0"	1'-6" Seeking variance
PARKING REQUIREMENTS			
PARKING REQUIREMENTS (BY USE):			
USE #1: (RESIDENT)	349.04(a)	1 for each dwelling unit= 45	13 spaces on adjacent property
TITLE 1: PLANNING			
CHAPTER 301 TRANSIT ORIENTED DEVELOPMENT AND TRANSPORTATION DEMAND MANAGEMENT			
TOTAL PARKING REQUIREMENTS:			
§ 301.04 Exemptions from and Alternative Regulations to the Zoning Code Notwithstanding other provisions in the Zoning Code, TOD Projects are exempt from all requirements for a minimum number of off-street vehicular parking spaces in the Zoning Code.			
301.5 Transportation Demand Management Program Standards:			
Tier 4 : >40 dwelling Units= 30 Points			
Proposed strategy for meeting the threshold of points required for compliance to TDM tier 4			
INFORMATION - B	Pedestrian and cyclist wayfinding		1 Point
BUILDING - A	Parking location		2 Points
BUILDING - C	Entrance and sidewalk orientation		2 Points
ACTIVE - C	Bicycle parking- Available in adjacent BBQ Lofts		5 Points
ACTIVE - F	Bicycle repair station to be provided in adjacent BBQ Lofts		5 Points
PARKING - A	Parking supply reduction ((1-(0/45))*10)= 10 points		10 Points
PARKING - B	Unbundle parking		5 Points
30 Points			
SITE DEVELOPMENT STANDARDS			
	TBD	REQUIRED	PROPOSED
FRONTAGE STRIP	352.10	Not Applicable	Not Applicable
FENCING			
FRONT YARD	358.05(a)(2)	Max. 4' high; 50% open above 2' in height	42" high decorative aluminum, over 50% open for full height
SIDE YARD	358.05(a)(2)	Max. 6' high; Open or solid	42" high to adjacent property's porch, 60" to rear of lot

ZONING SITE PLAN



GROUND FLOOR PLAN



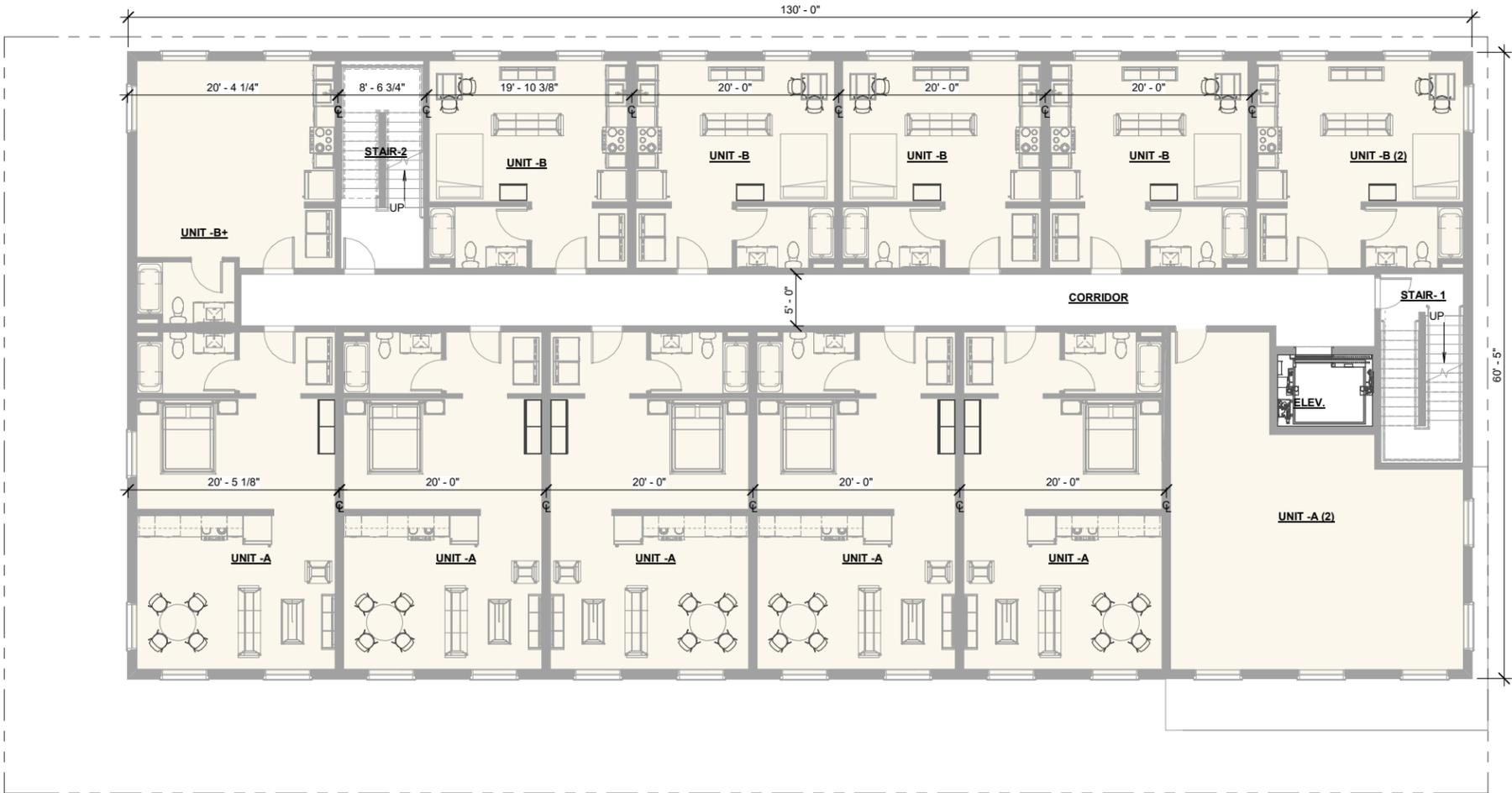
AREA SCHEDULE			
Schedule Key - Multi-Family Residential Area Plan	Count	Area	Level
LEVEL 01			
1 BR - #1	5	3399	LEVEL 01
	5	3399	
BUILDING SERVICES	2	796	LEVEL 01
	2	796	
CIRC. & CORE	1	1258	LEVEL 01
	1	1258	
LOBBY	1	665	LEVEL 01
	1	665	
STUDIO - #2	4	1710	LEVEL 01
	4	1710	
	13	7828	
LEVEL 02			
1 BR - #1	6	4192	LEVEL 02
	6	4192	
CIRC. & CORE	1	1009	LEVEL 02
	1	1009	
STUDIO - #2	6	2653	LEVEL 02
	6	2653	
	13	7854	
LEVEL 03			
1 BR - #1	6	4192	LEVEL 03
	6	4192	
CIRC. & CORE	1	1009	LEVEL 03
	1	1009	
STUDIO - #2	6	2653	LEVEL 03
	6	2653	
	13	7854	
LEVEL 04			
1 BR - #1	6	4192	LEVEL 04
	6	4192	
CIRC. & CORE	1	1009	LEVEL 04
	1	1009	
STUDIO - #2	6	2653	LEVEL 04
	6	2653	
	13	7854	
Grand total	52	31390	

UNIT COUNT	
LEVEL 01	
1 BR - #1	5
STUDIO - #2	4
	9
LEVEL 02	
1 BR - #1	6
STUDIO - #2	6
	12
LEVEL 03	
1 BR - #1	6
STUDIO - #2	6
	12
LEVEL 04	
1 BR - #1	6
STUDIO - #2	6
	12
Grand total:	45

AREA SCHEDULE MINUS CIRCULATION			
Schedule Key - Multi-Family Residential Area Plan	Count	Area	Level
LEVEL 01			
1 BR - #1	5	3399	LEVEL 01
BUILDING SERVICES	2	796	LEVEL 01
LOBBY	1	665	LEVEL 01
STUDIO - #2	4	1710	LEVEL 01
	12	6570	
LEVEL 02			
1 BR - #1	6	4192	LEVEL 02
STUDIO - #2	6	2653	LEVEL 02
	12	6845	
LEVEL 03			
1 BR - #1	6	4192	LEVEL 03
STUDIO - #2	6	2653	LEVEL 03
	12	6845	
LEVEL 04			
1 BR - #1	6	4192	LEVEL 04
STUDIO - #2	6	2653	LEVEL 04
	12	6845	
Grand total	48	27105	

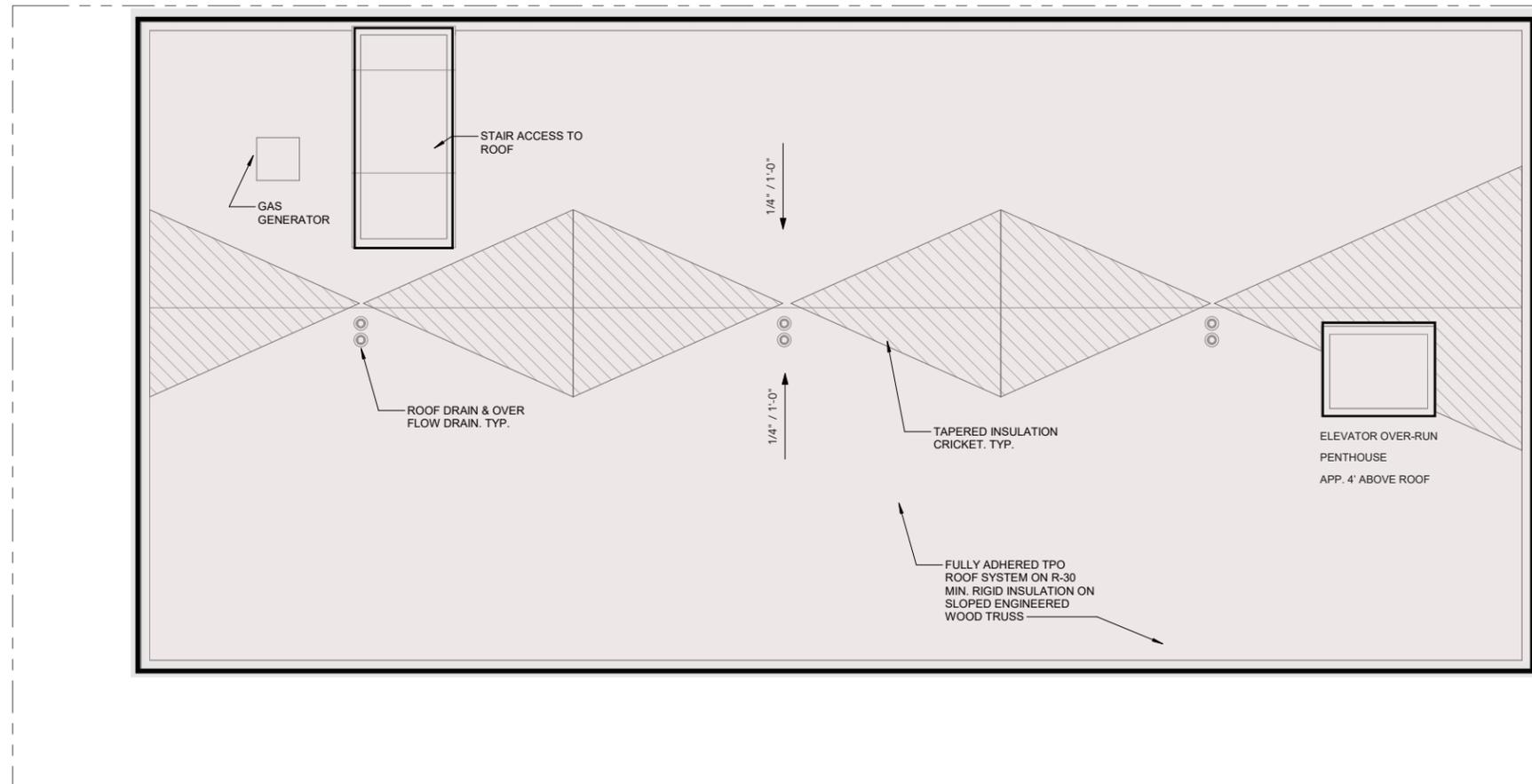


TYPICAL FLOOR PLAN



NORTH

ROOF PLAN



NORTH

SOUTHEAST VIEW ALONG VEGA AVENUE | EXISTING CONDITIONS



SOUTHEAST VIEW ALONG VEGA AVENUE | PROPOSED



SOUTHWEST VIEW ALONG VEGA AVENUE | EXISTING CONDITIONS



SOUTHWEST VIEW ALONG VEGA AVENUE | PROPOSED



SOUTH VIEW



ENTRANCE VIEW | LOBBY



NORTH VIEW



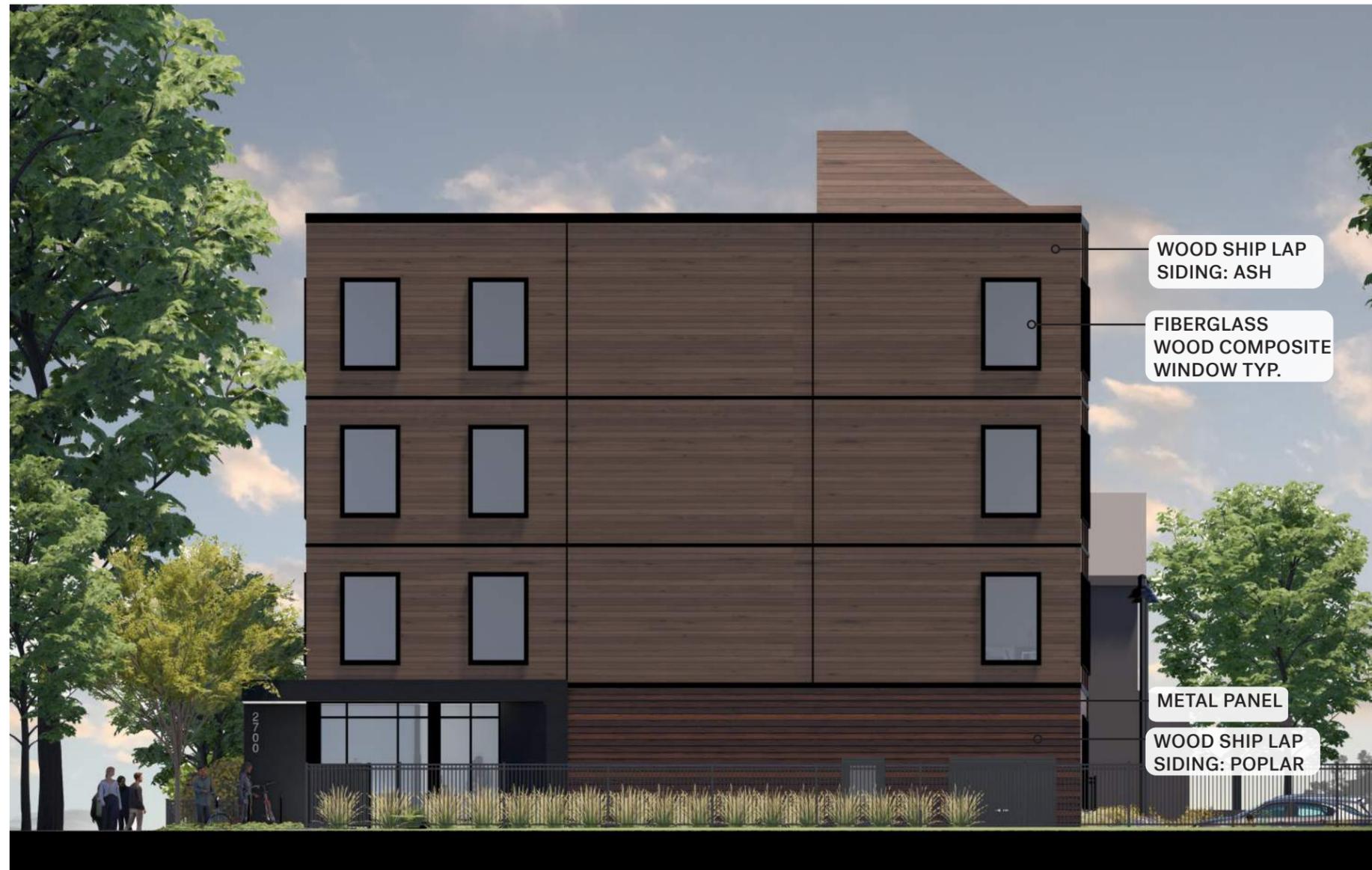
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



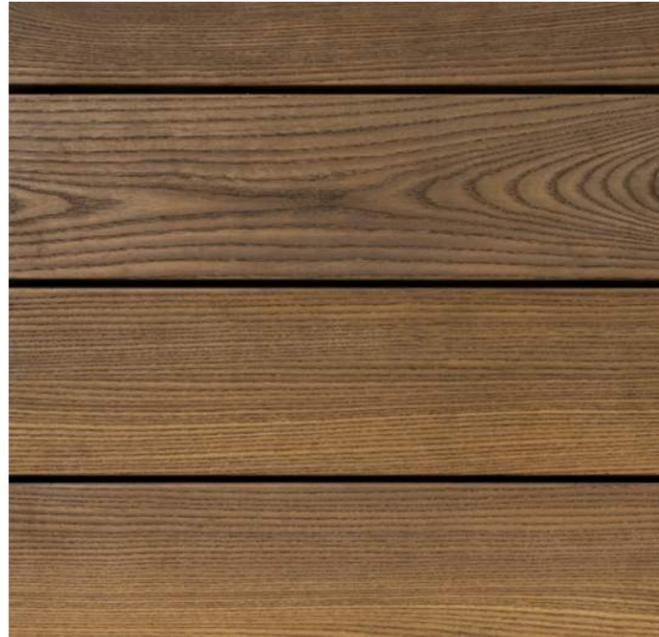
WEST ELEVATION



BUILDING MATERIALITY

THERMALLY MODIFIED WOOD SHIPLAP SIDING

NATURAL ASH: BY ARBOR WOOD



ALTERNATE CLADDING MATERIAL

TEAK: BY MAC ARCHITECTURAL METALS



CANOPY CLADDING MATERIAL

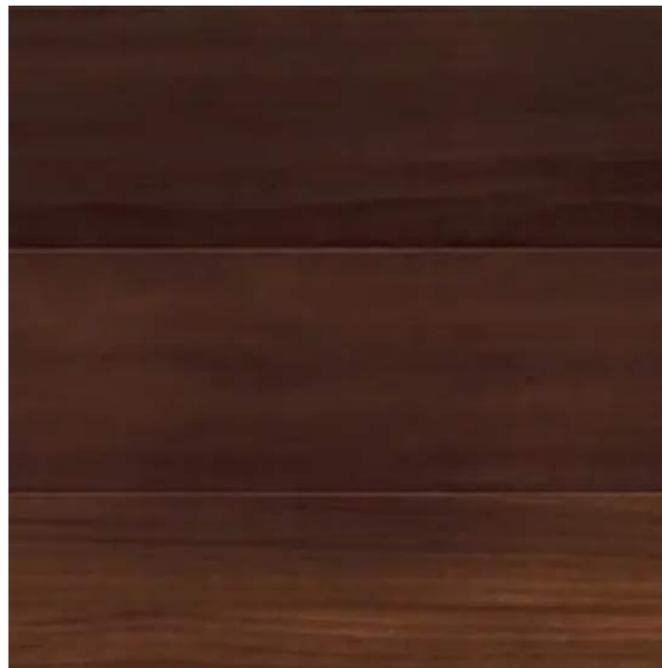
DMI FLAT PANEL GALV STEEL 22 GAUGE
MATTE BLACK



NATURAL POPLAR: BY ARBOR WOOD

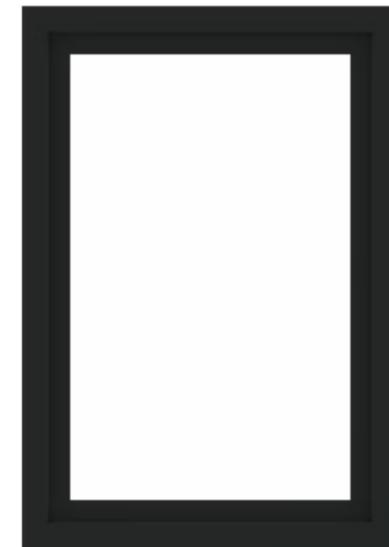


TORREFIED: BY MAC ARCHITECTURAL METALS



WINDOWS

BLACK FIBERGLASS WOOD
COMPOSITE WINDOWS



TRIM

ALL TRIM BOARDS
TO BE SYNTHETIC BOARDS
PAINTED TO MATCH MATTE BLACK CANOPY



LANDSCAPE PLAN

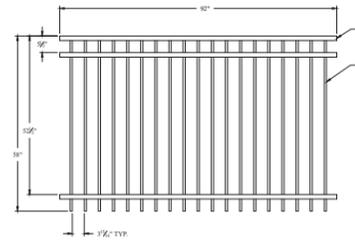
BIKE RACK



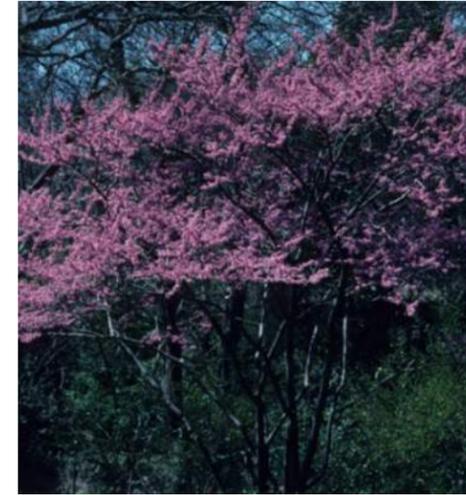
Hoop Rack

The Hoop Rack is a proven design that provides high security and easy bike parking. The Hoop Rack uses thick pipe construction and the full radius of the bend makes the Hoop an attractive and functional bike rack. This bike rack can also be put on rails for mobility and is popular in bike corrals.

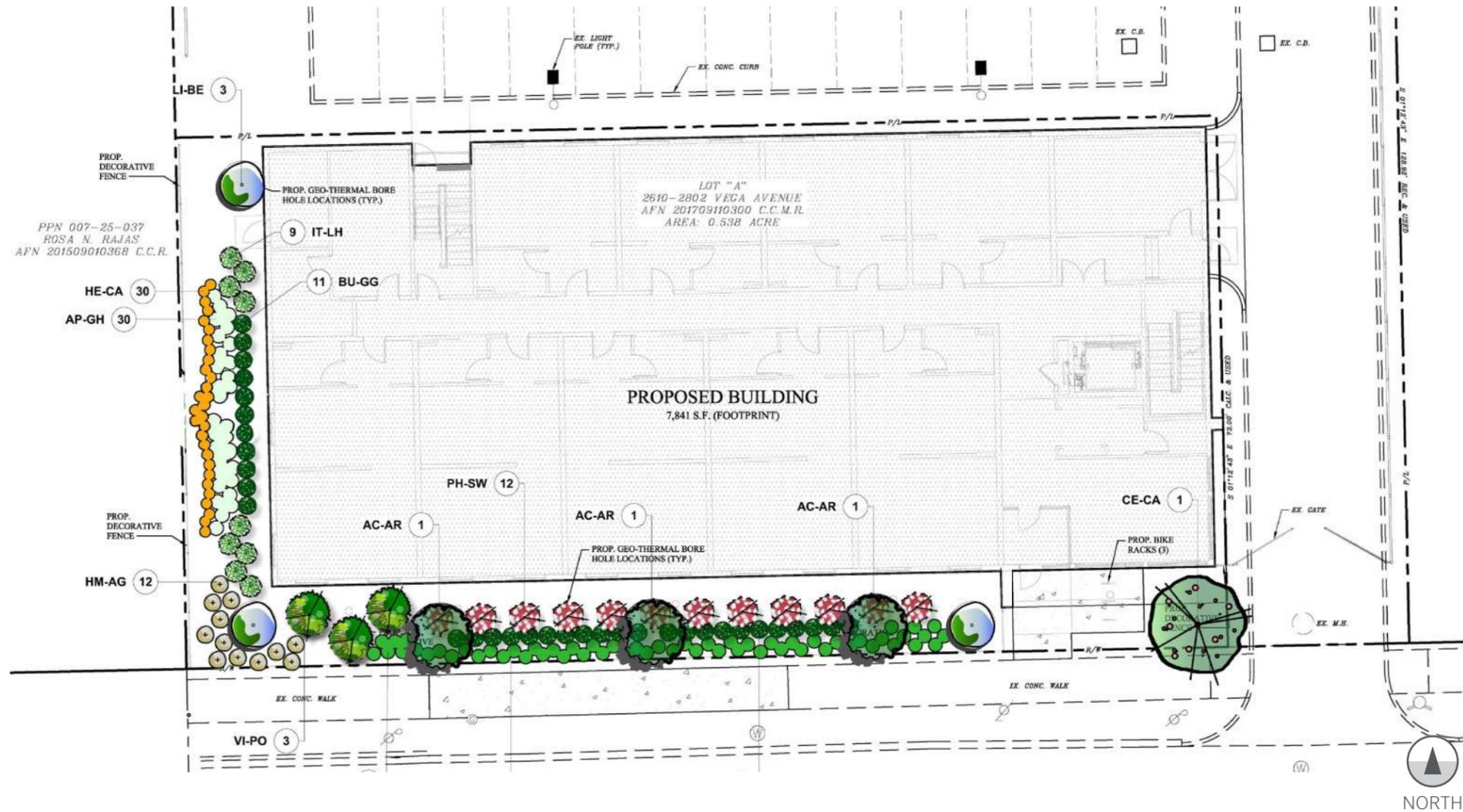
NEW FENCE TO MATCH EXISTING



EASTERN RED BUD



SASSAFRAS



MARGINAL SHIELD FERN



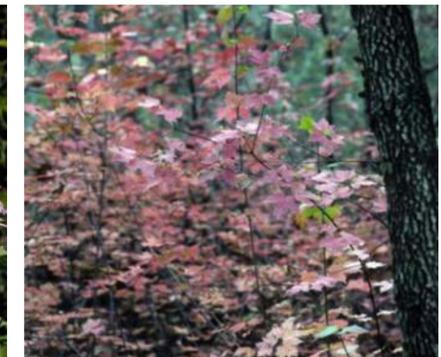
NINE BARK



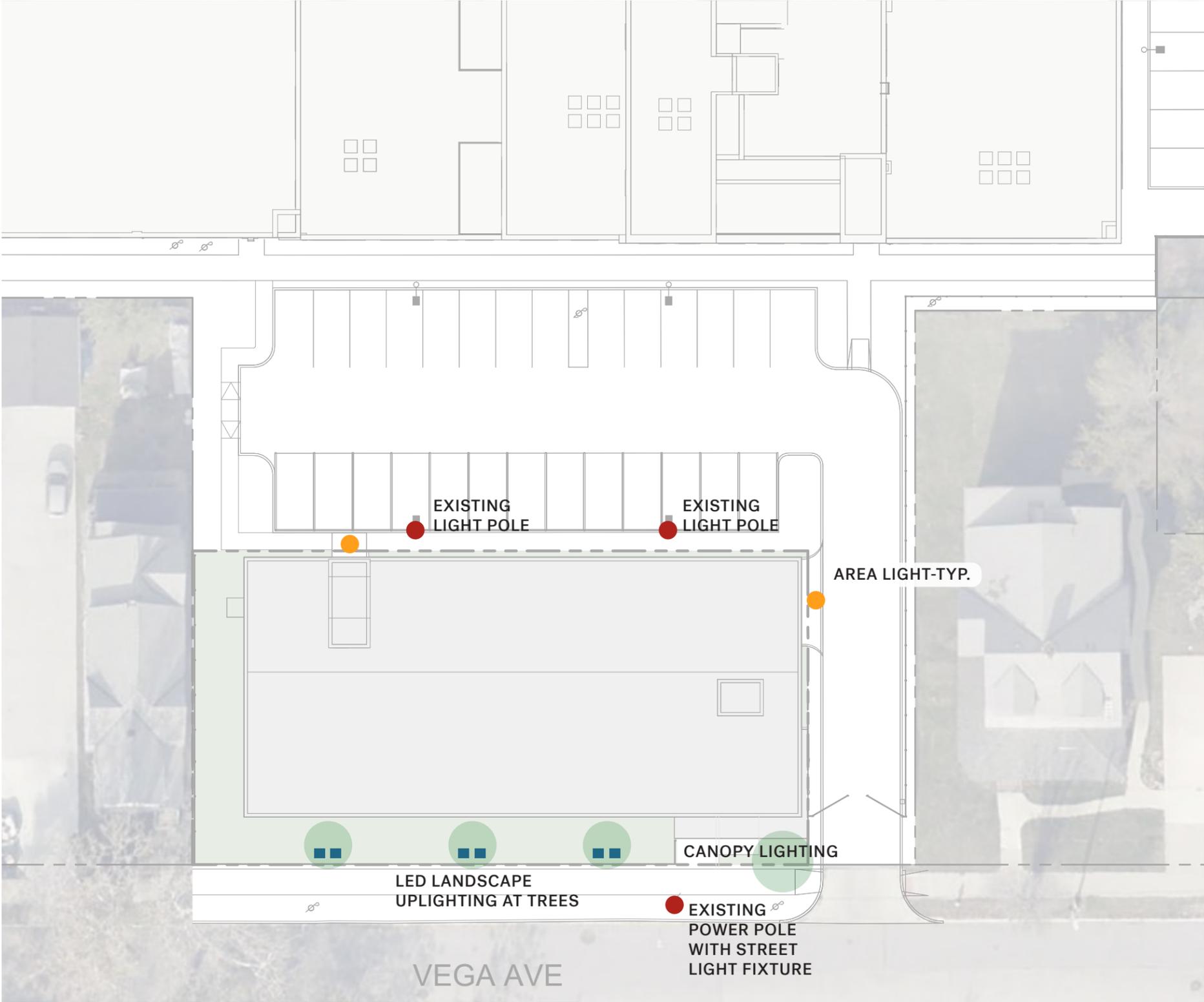
WILD BERGAMOT



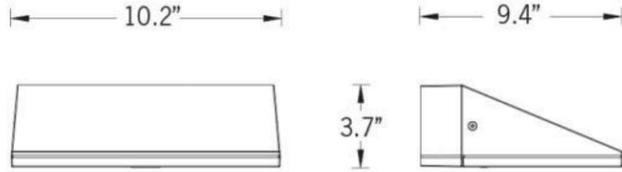
MAPLE LEAF VIBURNUM



LIGHTING PLAN



WALL-MOUNTED AREA LIGHT
LIGMAN: VEKTER



NIGHT VIEW



vocon.

**LET YOUR
SPACES SPEAK.**

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Near West Design Review – Staff Report

NW2025-008 – Vega Avenue Studio Lofts

Apr 25, 2025

NWDRAC recommended final approval (with no conditions) on 4/9/25.

Cleveland City Planning Commission

Central Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

CSE2025-023 – 9300 Miles Ave Gas Station

Apr 25, 2025

Project Address: 9300 Miles Ave

Type: New Gas Station (change of use from local retail)

Project Representative: Mike One

Approval: Schematic

Ward 2 – Councilmember Bishop

SPA: Union-Miles

MILES AVE NEW GAS STATION

9302 MILES AVE,
CLEVELAND, OH, 44105

PROPOSED DESIGN

MARCH 11, 2025

PREPARED BY:



UBIQUITOUS DESIGN, LTD.

ARCHITECTS

3443 LEE ROAD

SHAKER HEIGHTS, OHIO 44120

P 216.752.4444 F 216.752.5011 ARCATEK@UDLTD.COM



SITE AERIAL



0001



UBIQUITOUS DESIGN, LTD
AN ARCHITECTURAL STUDIO

3443 LEE ROAD SHAKER HEIGHTS, OHIO 44120

PHONE: 216.752.4444 FAX: 216.752.5011

ARCATEK@UDLTD.COM WWW.UDLTD.COM

MILES AVE NEW GAS STATION

9302 MILES AVE,
CLEVELAND, OH, 44105

3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.
 4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

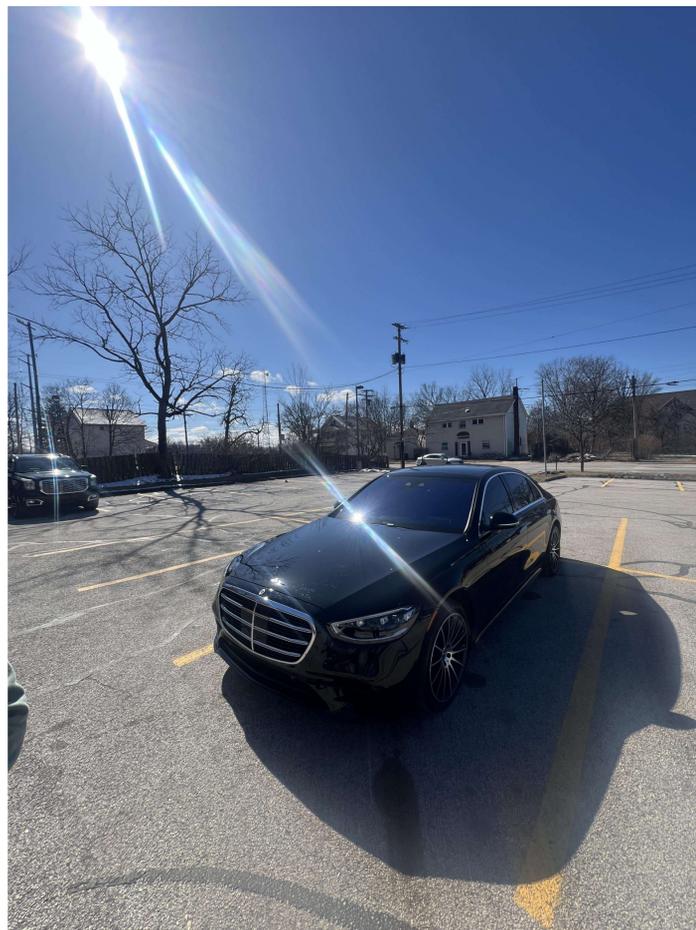
2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OR ORDERING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.

1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.

NOTES:

1
SP1.0

EXISTING CONTEXT PHOTOS



Project Team:

UBIQUITOUS DESIGN, LTD.
ARCHITECTS

3443 LEE ROAD
SHAKER HEIGHTS, OHIO 44120
P 216.752.4444 F 216.752.5011 ARCATK@UDLTD.COM



W. Daniel Bickerstaff, II
 W. Daniel Bickerstaff, II License No. 12608
 Expires on December 31, 2025

PERMIT ISSUANCE	WDB II	DATE
ISSUED	BY	DATE

**MILES AVE
NEW GAS
STATION**

MARCH 11, 2025

9302 MILES AVE,
CLEVELAND, OH, 44105

CONSTRUCTION DOCUMENTS

UD COPYRIGHT STATEMENT
 2025 ALL RIGHTS RESERVED. ALL MATERIAL IN THIS DOCUMENT IS, UNLESS OTHERWISE STATED, THE PROPERTY OF UBIQUITOUS DESIGN, LTD. COPYRIGHT AND OTHER INTELLECTUAL PROPERTY LAWS PROTECT THESE MATERIALS. REPRODUCTION OR RE-TRANSMISSION OF THE MATERIALS, IN WHOLE OR IN PART, IN ANY MANNER, WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT HOLDER IS A VIOLATION OF COPYRIGHT LAW.

Approver:	Date:	
X		
Consultant Project #	Drawn by:	Checked by:
	NN - DB	WDB, II

EXISTING CONTEXT
PHOTOS

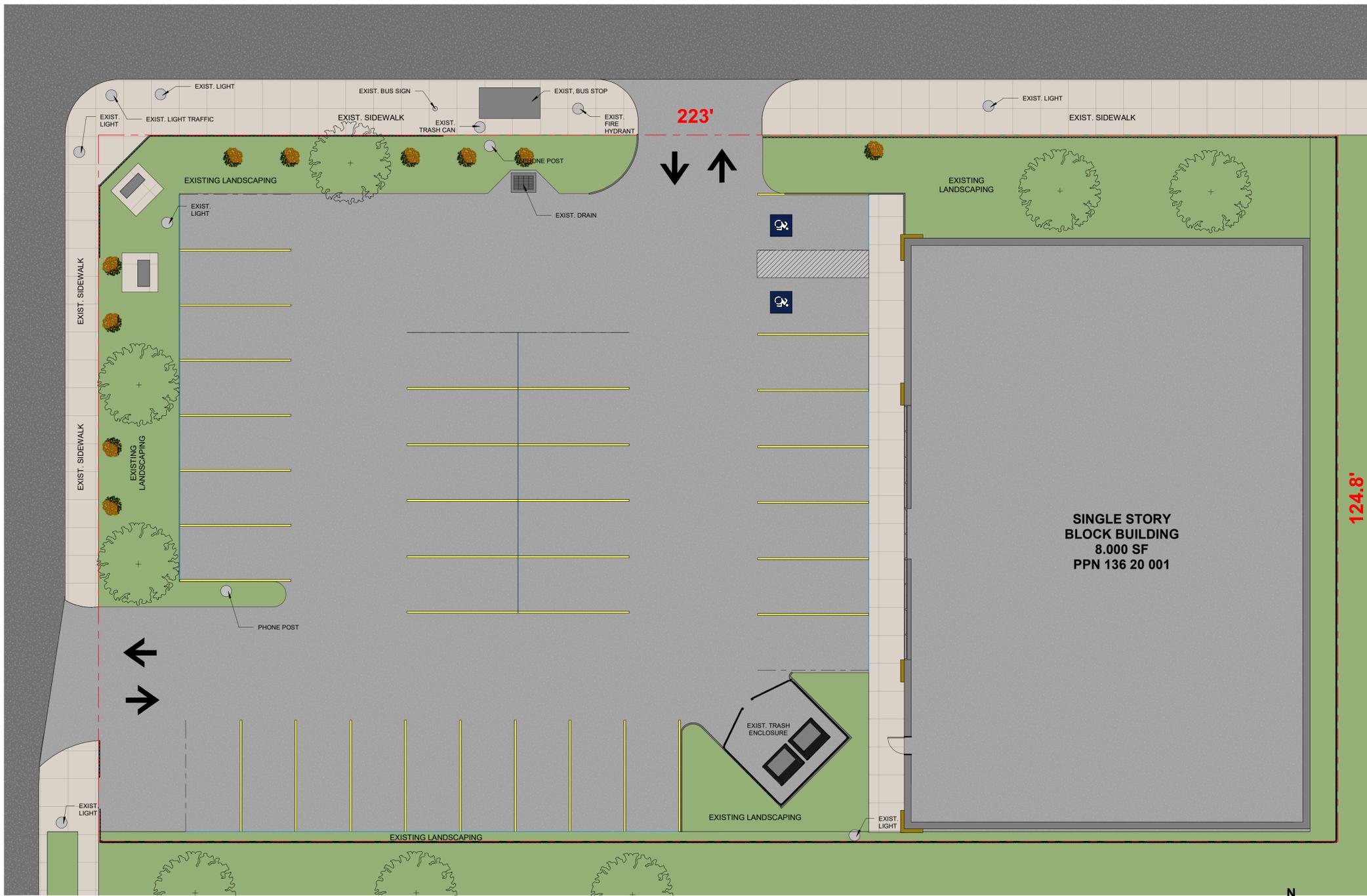
Scale: Sheet:
Date: 04.03.2025 **SP1.0**

3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.
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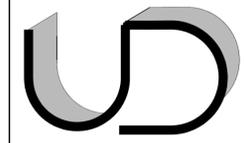
NOTES:



1 EXISTING SITE PLAN
SP2.0 SCALE 1" = 10'-0"

GENERAL NOTES

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- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT THE SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- REMOVE ALL EXISTING FINISH FLOORING. ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW POLISHED CONC. FINISH. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.
- REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
- REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.



Project Team:

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W. Daniel Bickerstaff, II License No. 12608
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PERMIT ISSUANCE	WDB II	DATE
ISSUED	BY	DATE

**MILES AVE
NEW GAS
STATION**

MARCH 11, 2025

9302 MILES AVE,
CLEVELAND, OH, 44105

CONSTRUCTION DOCUMENTS

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Approved:	Date:
X	
Consultant Project #	Drawn by: NN - DB
	Checked by: WDB, II

EXISTING SITE PLAN

Scale: 1" = 10'-0"
Date: 04.03.2025
Sheet: **SP2.0**

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NOTES:

1 PROPOSED SITE PLAN
 SP.2.1 SCALE 1" = 10'-0"

NEW PLANTER
 PolyStone Planters
 Milan Tall 46 in. x 17 in. Concrete Gray Composite Trough



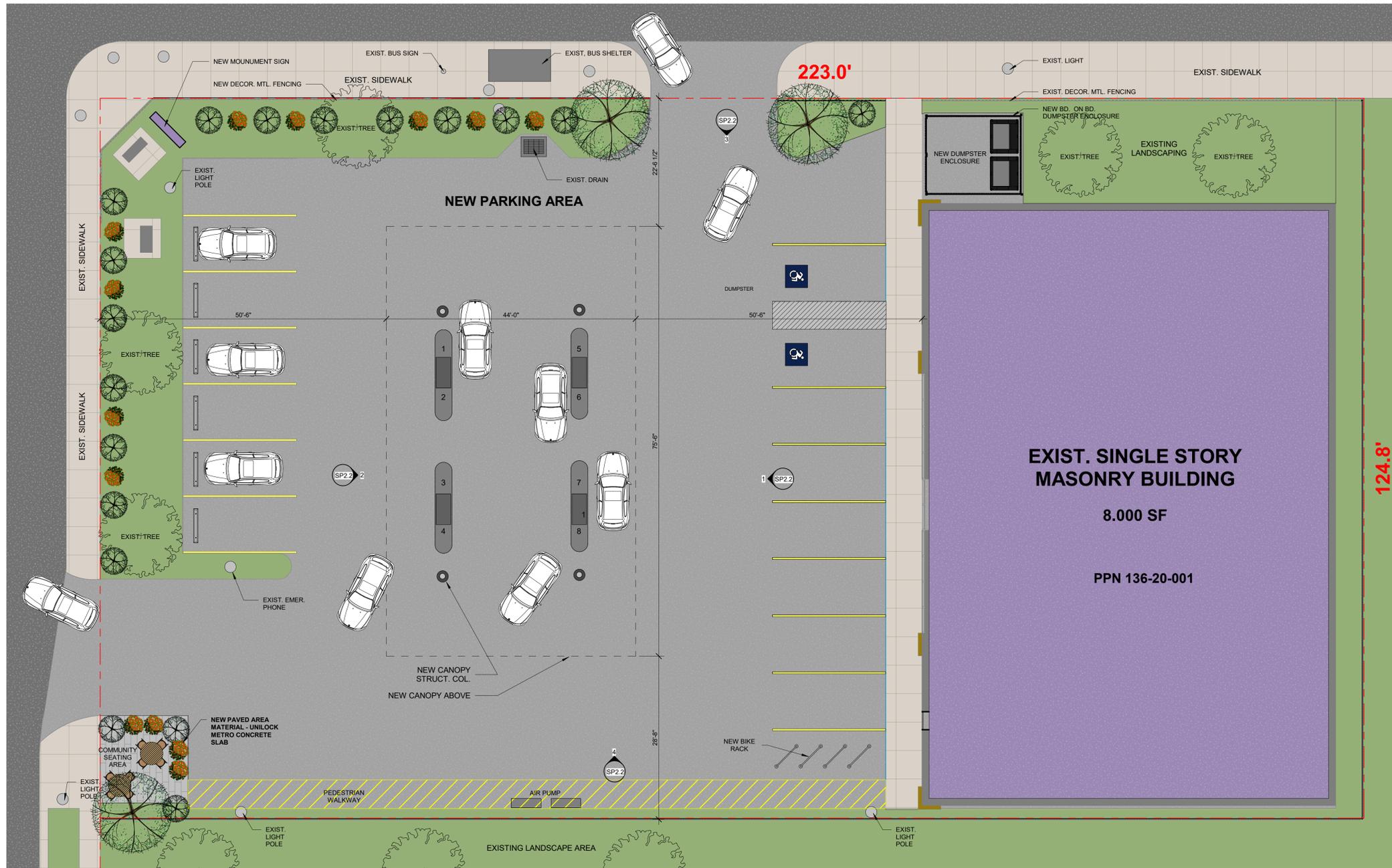
NEW PAVED AREA MATERIAL - UNILOCK METRO CONCRETE SLAB

DUSK
 SRI = 53
 FINISH: CLASSIC



LP METRO 15X30 RB A

15" X 30"
 380mm x 760mm x 60mm
 15" x 29 7/8" x 2 3/8"



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Consultant Project #	Drawn by:	Checked by:
	NN - DB	WDB, II

PROPOSED SITE PLAN

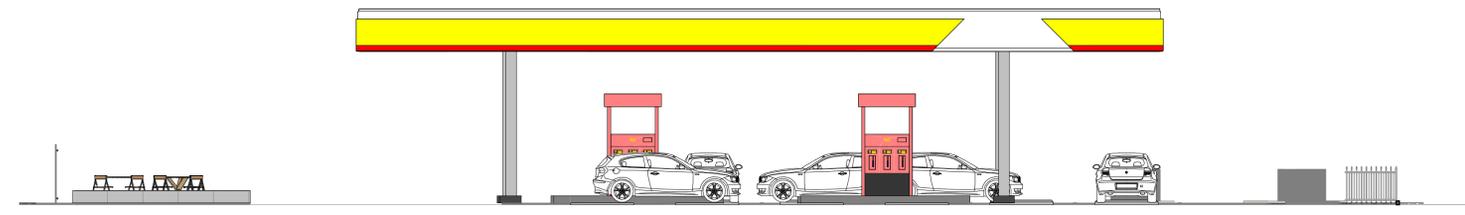
Scale: 1" = 10'-0"
 Date: 04.03.2025
 Sheet: **SP.2.1**

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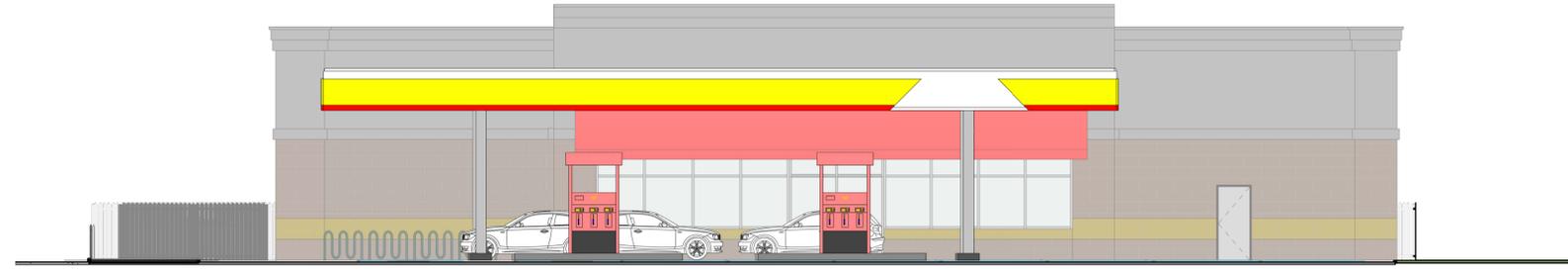
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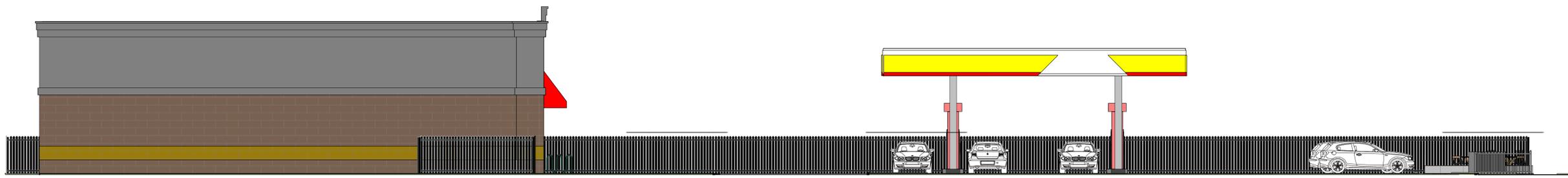
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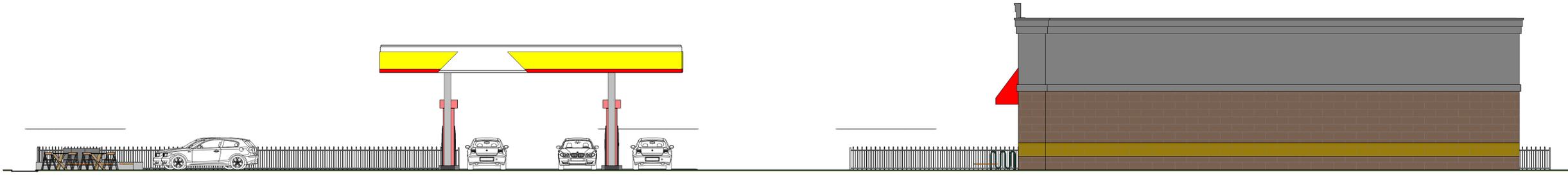
1 ELEV NORTH
SP2.2 SCALE 1/8" = 1'-0"



2 ELEV SOUTH
SP2.2 SCALE 1/8" = 1'-0"



3 ELEV WEST
SP2.2 SCALE 1/8" = 1'-0"



4 ELEV EAST
SP2.2 SCALE 1/8" = 1'-0"



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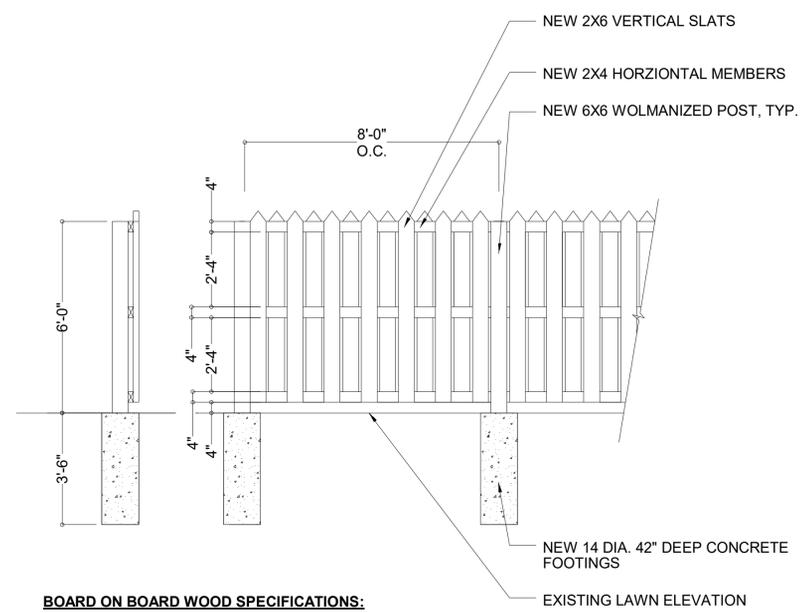
Consultant Project #	Drawn by:	Checked by:
	NN - DB	WBD, II

**PROPOSED
ELEVATIONS**

Scale: 1/8" = 1'-0"
Date: 04.03.2025

Sheet: **SP2.2**

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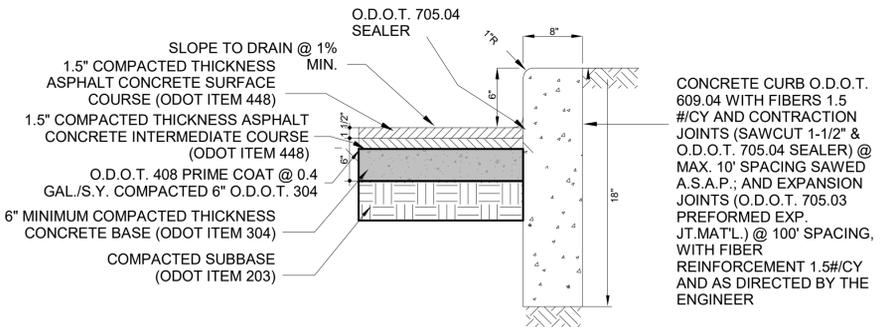


BOARD ON BOARD WOOD SPECIFICATIONS:

- 72" H FENCE; MEASUREMENTS LISTED ARE TOT HE TOP OF POST
- DOG EAR WATER SEAL/WOLMANIZED SLATS ARE 3/4"x6"
- REQUIRED (3) HORIZONTAL STRINGERS ARE PRESSURE TREATED PINE OR APPROVED EQUAL FULL CUT 1"x4"
- ONLY GALVANIZED RING SHANK NAILS SHALL BE USED
- 6"x6" PRESSURE TREATED PINE POSTS SHALL BE LOG STOCK
- POSTS SHALL BE 8'-0" L
- 6"x6" GATE HINGE AND LOCKABLE LATCH POST INSTALLED 36" BELOW GRADE WITHIN CONC. FOOTING

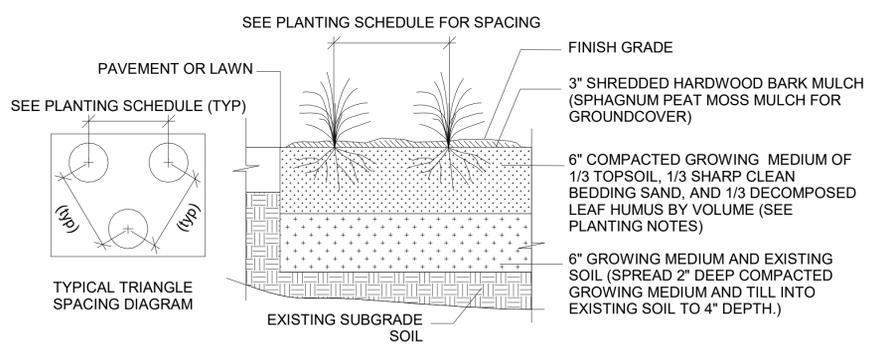
1 NEW BOARD ON BOARD FENCING

SP4.0 SCALE: 1/2" = 1'-0"



2 TYP. REGULAR ASPHALT PAVEMENT SECTION

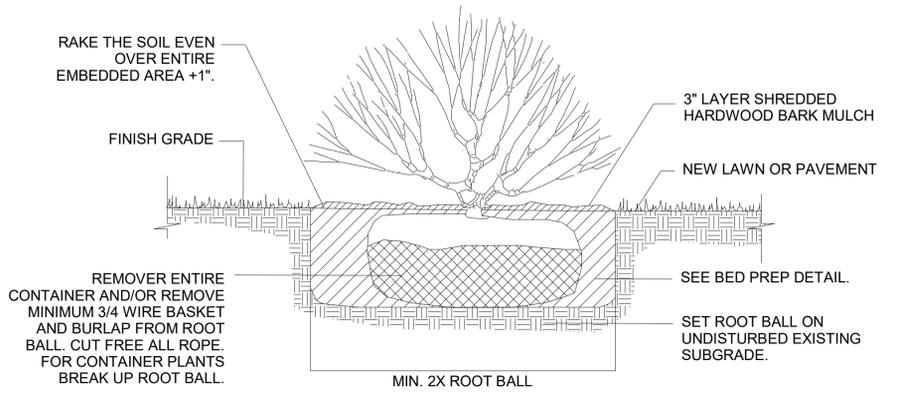
SP4.0 SCALE: NO SCALE



BREAK UP ROOT BALL FOR CONTAINER GROWN PLANTS. SET ALL PLANTS SO THAT THEY BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY.

3 PERENNIAL PLANTING/ BED PREP

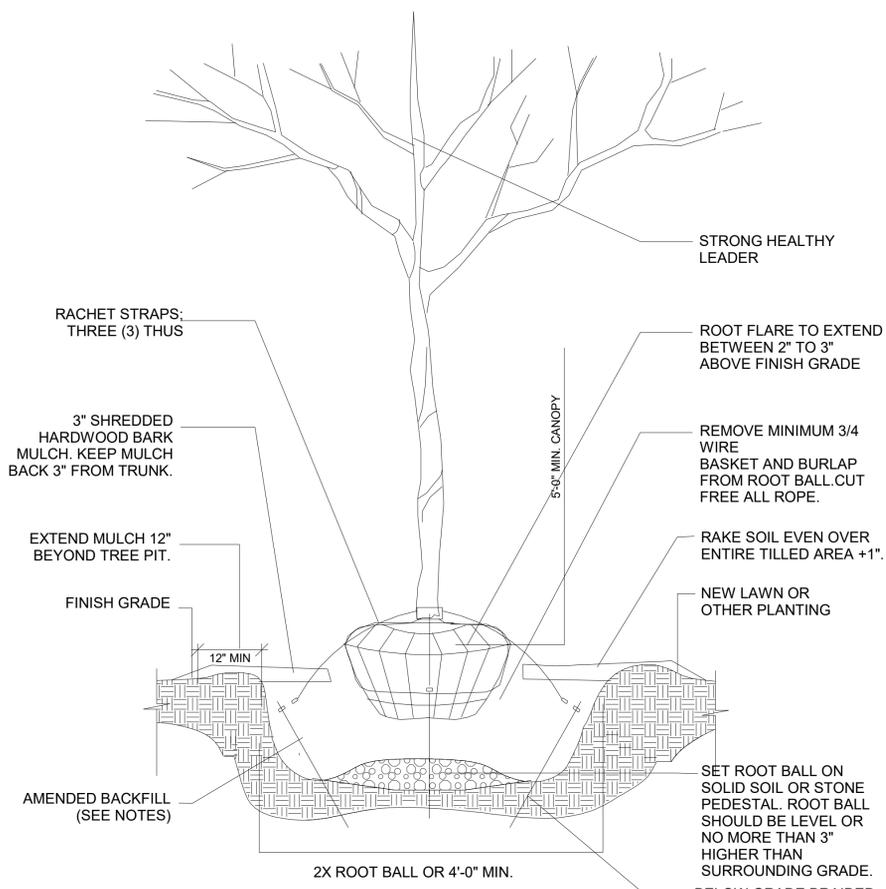
SP4.0 SCALE: NO SCALE



SET PLANTS SO THAT THEY WILL BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY AFTER SETTLEMENT OF BACKFILL. INSTALL BACKFILL 1" HIGHER THAN THE SURROUNDING GRADE TO ALLOW FOR SETTLEMENT. CONTRACTOR HAS THE OPTION TO PREPARE ENTIRE SHRUB BED, AS DESCRIBED ABOVE, FOR LARGE SHRUB PLANTING BEDS. SEE BED PREP DETAIL

4 SHRUB PLANTING

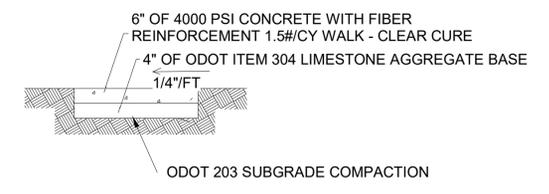
SP4.0 SCALE: NO SCALE



- THOROUGHLY COMBINE 50% NATIVE SOIL WITH 50% GROWING MEDIUM, BACKFILL AND LIGHTLY COMPACT. AMEND SOIL TO THE DEPTH OF THE TREE BALL. PRIOR TO AMENDING SOIL, REMOVE ANY EXISTING LAWN OR OTHER VEGETATION. WATER IN BACKFILL IN LAYERS TO SETTLE BACKFILL.
- SET ALL PLANTS SO THAT THEY BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY AFTER SETTLEMENT OF BACKFILL. INSTALL BACKFILL 1" HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
- DO NOT STAKE OR WRAP TREE UNLESS NOTED.

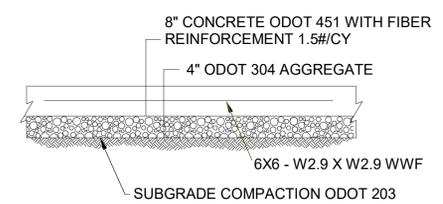
5 TREE PLANTING

SP4.0 SCALE: NO SCALE



6 DRIVEWAY

SP4.0 SCALE: NO SCALE



7 CONCRETE APRON AND PAD DETAIL

SP4.0 SCALE: NO SCALE

PLANTING NOTES

- ALL PLANTING & SEEDING SHALL BE INSTALLED BY AN OHIO CERTIFIED NURSERY TECHNICIAN(S) OR NATIONALLY CERTIFIED LANDSCAPE TECHNICIAN(S).
- CONTRACTOR TO STAKE LOCATIONS OF TREES AND LARGE SHRUBS AND OUTLINE BED AREAS OF PERENNIALS AND GROUND COVER FOR ACCEPTANCE BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- GROWING MEDIUM SHALL CONSIST OF 1/3 TOPSOIL, 1/3 SHARP, CLEAN BEDDING SAND, 1/3 DECOMPOSED LEAF HUMUS BY VOLUME. GROWING MEDIUM SHALL BE MECHANICALLY COMBINED BY A SUPPLIER. GROWING MEDIUM SHALL HAVE A PH BETWEEN 6.2 AND 6.8. FINAL BLEND FROM PART 'A' SHALL BE CLASSIFIED IN THE "SANDY LOAM" PORTION OF THE U.S.D.A SOIL TEXTURAL TRIANGLE.
- DECOMPOSED LEAF MULCH: DECOMPOSED, NITROGEN-TREATED, OF UNIFORM TEXTURE, FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIALS. SHALL CONFORM TO THE FOLLOWING:
 - 100% SHALL PASS THROUGH A 1" SCREEN.
 - PATHOGEN FREE; TIME AND TEMPERATURE TESTS MINIMUM 55 DEGREE CELSIUS FOR A MINIMUM OF THREE DAYS.
 - HEAVY METAL CONTENT SHALL NOT EXCEED OHIO EPA CLASS 1
 - ORGANIC CONTENT SHALL BE BETWEEN 35% AND 75%; EACH SOURCE SHALL NOT VARY MORE THAN 5%.
 - INERT CONTAMINATION SHALL BE LESS THAN 1% BY WEIGHT.
 - MATERIAL SHALL BE CURED FOR AT LEAST 90 DAYS.
 - SOLUBLE SALTS SHALL BE BETWEEN 1 - 5 MMHOLS.
 - PH SHALL BE BETWEEN 6.0 AND 8.0
- CONTRACTOR MAY REUSE SURFACE SOIL STOCKPILED ON THE SITE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF TREES AND SHRUBS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
- SEEDING & MULCHING PER ODOT ITEM 659. SEED MIXTURE AS PER NOTE 8.
- SEED: PROVIDE CERTIFIED GRASS SEED BLENDS OR MIXES, PROPORTIONED BY WEIGHT FOR APPROVAL BY OWNER'S REP. SEED SHALL BE PROFESSIONALLY MIXED WITH 30% KENTUCKY BLUEGRASS; 35% FESCUE (FESTUCA CVLT.) SUCH AS PENNLAWN, FINELAWN PETITE' OR 'CROSS FIRE'; 35% PERENNIAL RYE GRASS SUCH AS CITATION II OR MANHATTAN. SOW SEED AT A MINIMUM OF 5 LBS. PER 1000 SF. MINIMUM 90% GERMINATION.
- DITCHES WITH GRADES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 5:1 WILL HAVE EROSION CONTROL BLANKETS/MATTING INSTALLED AS PER ODOT 671. MATTING TO BE ODOT ITEM 712.11 SEE ODOT DRAWING DM-4.2 FOR INSTALLATION.
- CONTRACTOR TO GUARANTEE AND WARRANT ALL PLANT MATERIAL FOR 1 YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE GUARANTEE RESERVES THE RIGHT OF THE OWNER TO HAVE ANY PLANT MATERIAL REPLACED AT THE OWNER'S DISCRETION SHOULD THE OWNER DETERMINE THAT A PARTICULAR PLANT HAS DIED OR IS IN DECLINE AT THE SOLE COST OF THE CONTRACTOR AND AT NO COST TO THE OWNER.
- THE CONTRACTOR IS TO MAINTAIN ALL PLANTINGS FOR A PERIOD OF ONE YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE MAINTENANCE IS TO INCLUDE, BUT NOT LIMITED TO: ALL WATERING, MOWING, FERTILIZING, PRUNING, WEEDING, AND GENERAL CLEAN UP OF THE PLANTING AREAS. THIS MAINTENANCE IS TO BE DONE ON A REGULAR BASIS TO BE AGREED UPON WITH THE OWNER.
- CONTRACTOR IS TO REGRADE AND SEED ANY DISTURBED AREAS.



Project Team:

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Consultant Project #	Drawn by:	Checked by:
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DETAILS - SITE PLAN

Scale: As Indicated
 Date: 04.03.2025
 Sheet: **SP3.0**

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Consultant Project #	Drawn by: NN - DB
	Checked by: WDB, II

PROPOSED
RENDERINGS

Scale:	Sheet:
Date:	A3.4
04.03.2025	

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Approved: Date: _____

Consultant Project #	Drawn by:	Checked by:
	NN - DB	WDB, II

PROPOSED
 RENDERINGS 2.0

Scale:	Sheet:
Date: 04.03.2025	A3.5

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

CSE2025-023 – 9300 Miles Ave Gas Station

Apr 25, 2025

CSEDRAC gave schematic approval with conditions on 4/8/25:

- Remove a row of pavers from community seating area to allow more space for the tree
 - Specify seating/furniture that is secured/cannot be moved
 - Add striping lines for pedestrian walkways from the community seating area and the north entrance to the store
 - Relocate bike racks out of pedestrian egress routes
-

Cleveland City Planning Commission

Northeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

NE2025-005 – Spitzer Hyundai Cleveland

Apr 25, 2025

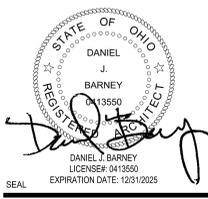
Project Address: 19991 Villaview Road

Type: Addition, New Construction

Project Representative: Dan Barney, The Foundation Architecture, LLC

Approval: Final

Ward 8 – Councilmember Polensek | **SPA: North Shore Collinwood**



PROJECT:

SPITZER MANAGEMENT

SPITZER HYNDAL - CLEVELAND
19991 VILLAVIEW ROAD, CLEVELAND OH 44119

MARK: ISSUE: DATE:
DESIGN REVIEW: 03.10.2025

PROJECT #: 011-0101
DRAWN BY: SF CHECKED BY: RB

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The Foundation Architecture, LLC © 2025

VICINITY MAP - DISTRICT
NOT TO SCALE



DRAWING TITLE:
SITE LOCATION MAP

SHEET #:
G0.02

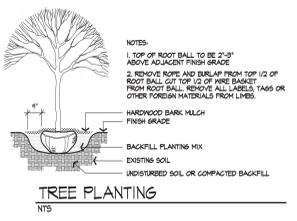
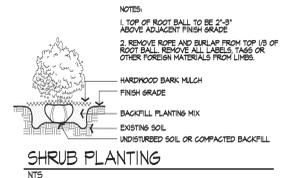
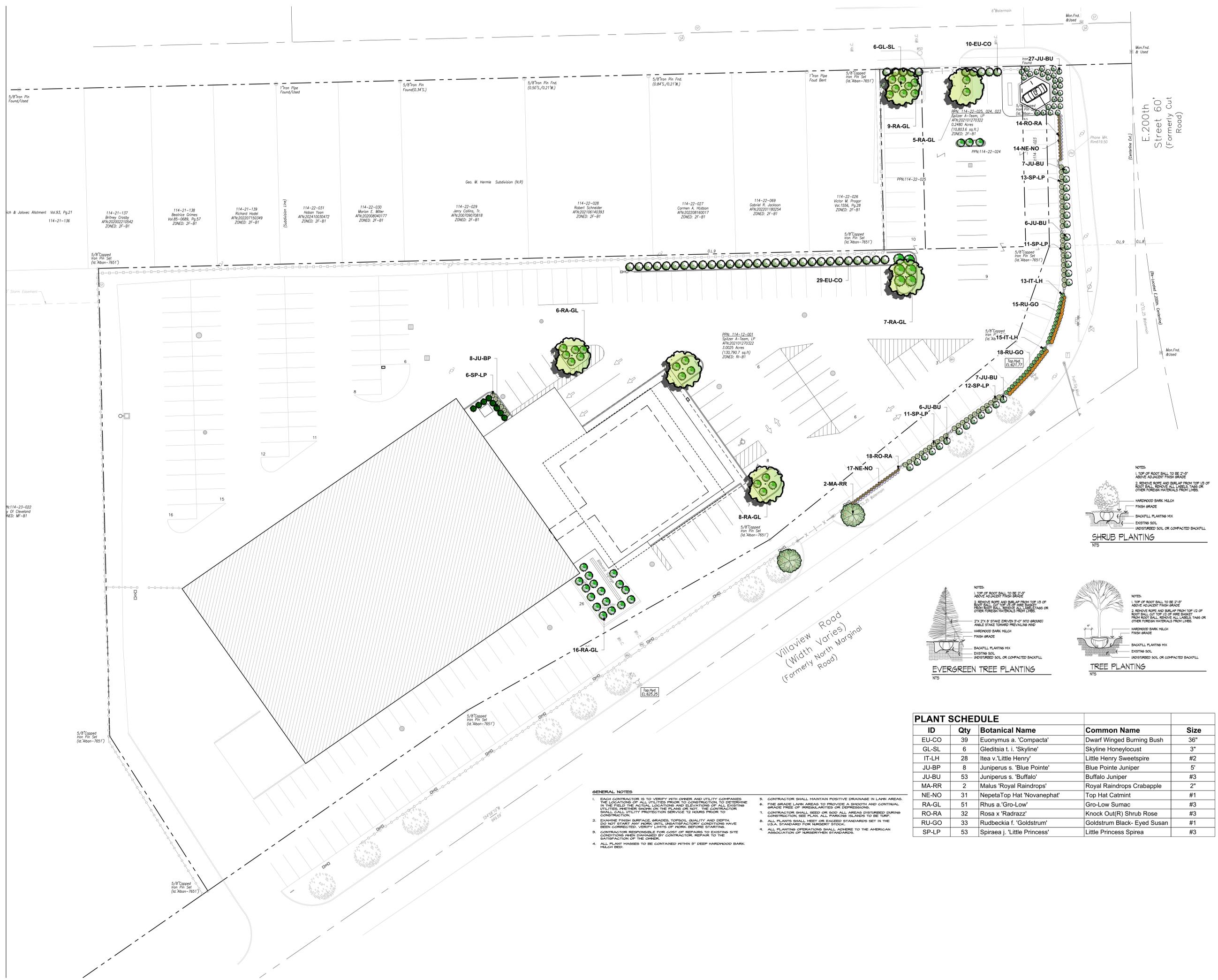


LANDSCAPE ARCHITECTS
24677 FRAMINGHAM DRIVE
WESTLAKE, OHIO 44145
216.337.2006

PROJECT:

SPITZER HYUNDAI CLEVELAND

19991 VILLAVIEW ROAD, CLEVELAND OH 44119



ID	Qty	Botanical Name	Common Name	Size
EU-CO	39	Euonymus a. 'Compacta'	Dwarf Winged Burning Bush	36"
GL-SL	6	Gleditsia t. i. 'Skyline'	Skyline Honeylocust	3"
IT-LH	28	Itea v. 'Little Henry'	Little Henry Sweetspire	#2
JU-BP	8	Juniperus s. 'Blue Pointe'	Blue Pointe Juniper	5'
JU-BU	53	Juniperus s. 'Buffalo'	Buffalo Juniper	#3
MA-RR	2	Malus 'Royal Raindrops'	Royal Raindrops Crabapple	2"
NE-NO	31	Nepeta Top Hat 'Novanephat'	Top Hat Catmint	#1
RA-GL	51	Rhus a. 'Gro-Low'	Gro-Low Sumac	#3
RO-RA	32	Rosa x 'Radrazz'	Knock Out(R) Shrub Rose	#3
RU-GO	33	Rudbeckia f. 'Goldstrum'	Goldstrum Black-Eyed Susan	#1
SP-LP	53	Spiraea j. 'Little Princess'	Little Princess Spirea	#3

- GENERAL NOTES**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLAN OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 12 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL SATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR REPAIRS TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSES TO BE CONTAINED WITHIN 8" DEEP HARDWOOD BARK MULCH BED.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - FINISH GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 - CONTRACTOR SHALL KEEP OR SOLO ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN. ALL PARKING ISLANDS TO BE TURF.
 - ALL PLANTINGS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.

MARK: ISSUE: DATE:

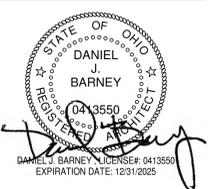
DRAWN BY: SF CHECKED BY: RB

PROJECT #: 011-0101

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DRAWING TITLE:
ARCHITECTURAL SITE PLAN

SHEET #:
AS.01



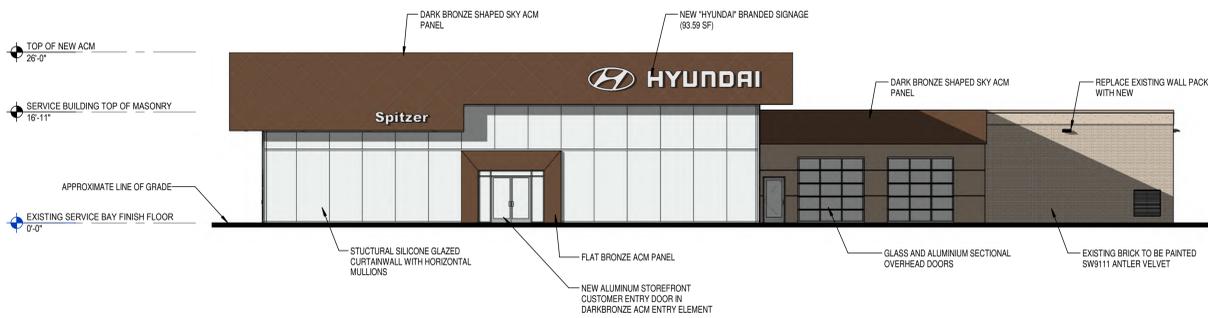
SOUTH EAST PERSPECTIVE

SCALE: NTS



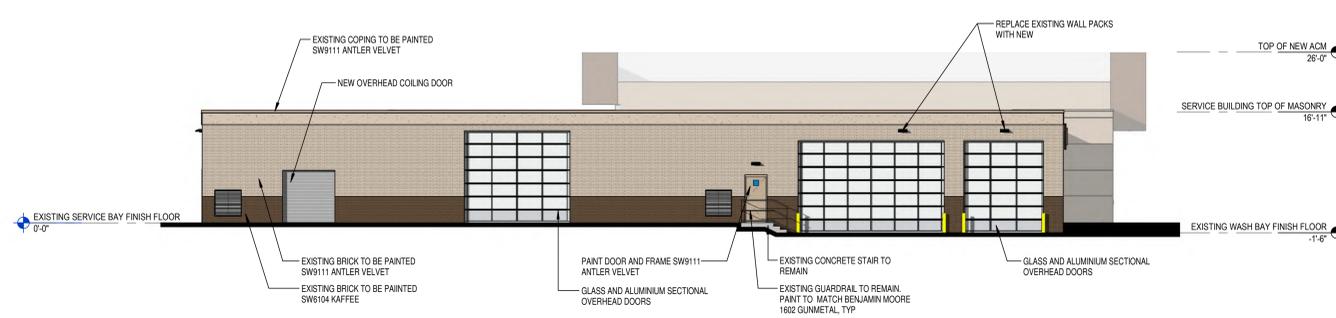
NORTH EAST PERSPECTIVE

SCALE: NTS



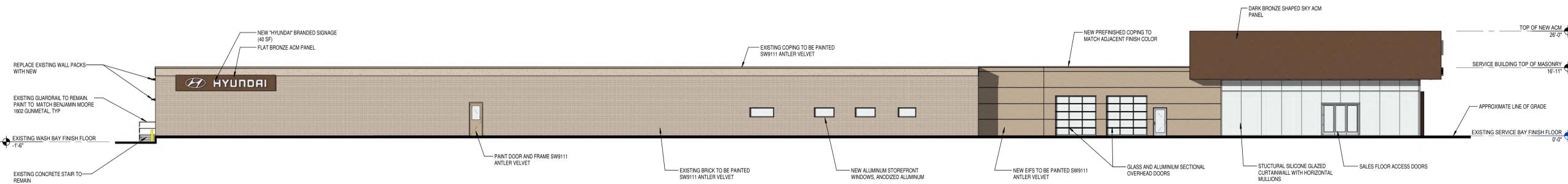
EAST ELEVATION

SCALE: 3/32" = 1'-0"



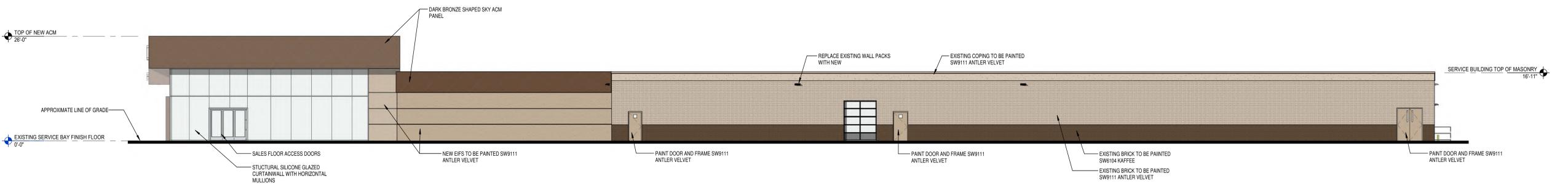
WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

PROJECT:

SPITZER MANAGEMENT
SPITZER HYUNDAI - CLEVELAND
19991 VILLAVIEW ROAD, CLEVELAND OH 44119

MARK: ISSUE: ZONING ONLY DATE: 01.31.2025

PROJECT #011-0101
DRAWN BY: SF CHECKED BY: RB

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DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET #:
A2.01



Spitzer

HYUNDAI

IONIQ

Service

HYL

Sp

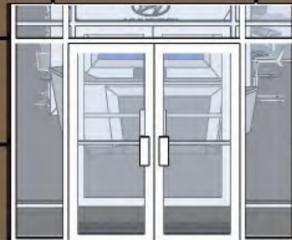


HYUNDAI

Spitzer

IONIQ

Service





 HYUNDAI

Spitzer

IONIQ

Service



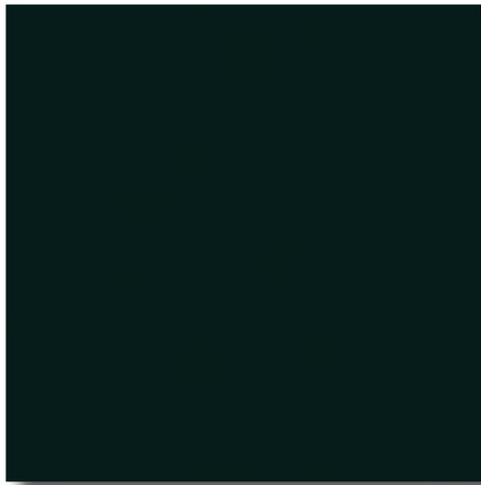
 **HYUNDAI**

Rodeo

 **HYUNDAI**

Exterior Branding - New Build
Shaped Sky Fascia - Stepped

Note: The image provided is for general reference only. All materials, colors, and finishes should be verified with the GDSI 2.0 Design Manual for accuracy and compliance.



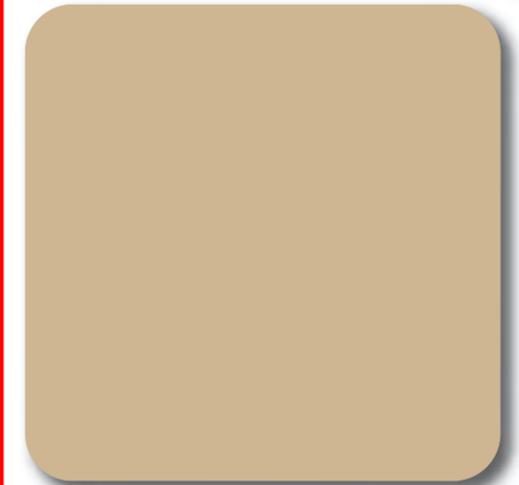
PL-6: Night Forest
Formica (millwork base)



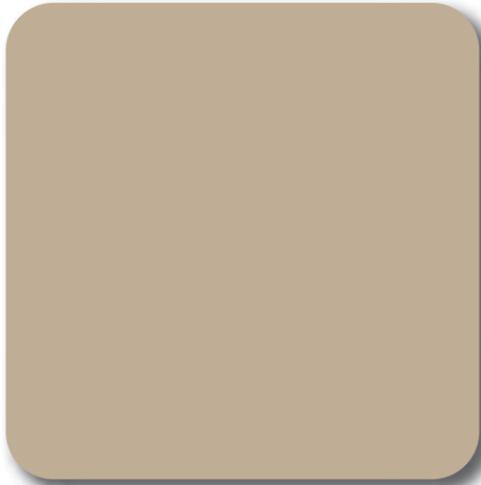
PL-5: Silver Riftwood
Formica (interior doors/millwork)



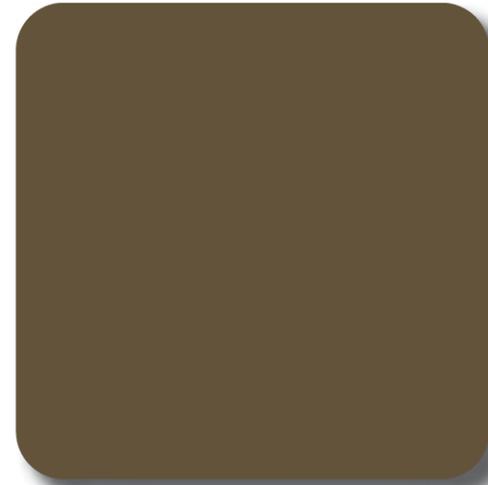
ACM – Hyundai North American Bronze
Shaped Sky Panels/ Flat Panels



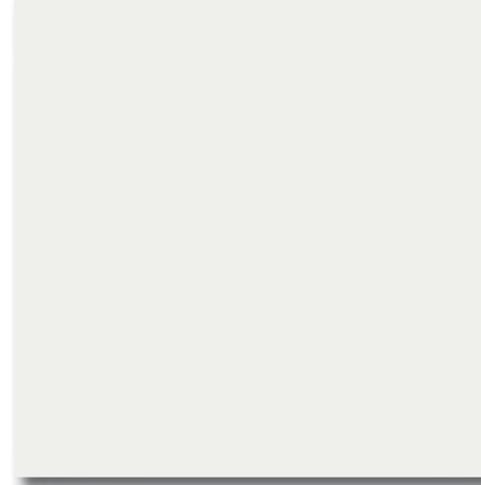
ACM – Pueblo Tan
(exterior)



P-1: Antler Velvet SW 9111
Sherwin Williams (exterior)
P-8: Antler Velvet SW 9111
Sherwin Williams (interior)



P-2: Kaffee SW 6104
Sherwin Williams (exterior –
accent wainscott)



P-5: Extra White SW 7006
Sherwin Williams (interior)



P-7: Agreeable Gray SW 7029
Sherwin Williams (interior)



P-10: Toasted Barrel MW405 or Smokewood MW407
Minwax (interior wood doors)



EXTERIOR MATERIALS ARE DENOTED BY RED BOXES



CT-1 & CT-2: DalTile Sistem_Π
Color: Sabbia_Π
Unpolished & Polished (CT-2)



CT-6: DalTile Santino
Bruno #SΠ09, 6"x 24"



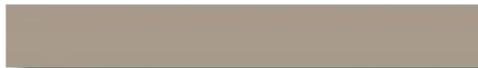
CT-5: The Pebble Tile Shop
Natural Finish "Java Tan"



CT-7: AutoStone Enviroshop
Series, 12"x 12"
Alloy Grey



CT-8: AutoStone Enviroshop
Series, 12"x 12"
Carbon Black



GR-1: Custom Building Products
Grout, #183 Chateau



CT-4: Schluter Transition Strip
Clear Anodized Aluminum



CT-3: DalTile, Style: Wave Glass
Mosaic Wall Tile,
Color: #CW21 Willow Water



P-9: Metallic Paint, Pewter ME209
Interior/Exterior Inclined Columns
Modern Masters



CPT-1: Shaw Carpet Tile
#62560 Sea Glass



VCT-1: Armstrong
Imperial Texture 12"x12"
Color: Sterling #51904



HYUNDAI

EXTERIOR MATERIALS ARE DENOTED BY RED BOXES

FINISH SCHEDULE
Interior Finishes

6.7

06/30/2021



GL-1: Exterior Glazing
System: Kawneer, 1600 SS curtain
wall system 2-1/2" Sightline



VITRO - Solarban 72 w/Starphire Glazing
Exterior Insulated Glass (64% VLT min.)



Clear Anodized Aluminum
Curtainwall Framing



EXTERIOR MATERIALS ARE DENOTED BY RED BOXES

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

NE2025-005 – Spitzer Hyundai Cleveland

Apr 25, 2025

NEDRAC gave final approval with conditions on 4/15/25:

- Have a plan for watering the trees for the first couple of years

Cleveland City Planning Commission

Special Presentations – Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Cover-a-Building 2 Art Installation

Apr 25, 2025

Project Address: 6500 Hough Ave

Type: Temporary Art Installation & Mural (retroactive)

Project Representative: Ron Shelton, Artist

Approval: Final

Ward 7 – Councilmember Howse-Jones | SPA: Hough



high art fridays:
the global artplace

High Art Fridays is a global network that addresses critical social and environmental issues through art, education, and community engagement.

ABOUT THE ARTIST

RON SHELTON

Artist + Founder, High Art Fridays (HAF)

HAF Mission Statement: We are a global network that addresses critical social, historical, and environmental issues through, art, education, and community engagement.

The Sustainable Art of Plastics: An international art exhibition project exploring the sustainable art of plastics.

Installation at the Beachwood Community Center

- » Over fifty plastic-embellished Art Hats made by local, national, and international artists.
- » Worked with local community members such as a group of twenty third graders from Dennison Elementary School.

Circular Cleveland Initiative Ambassador

Participated in GardenWalk 2022

Support from the Ohio Arts Council, Valley Art Center, and more



HIGH ART FRIDAYS: THE SUSTAINABLE ART OF PLASTICS TO BE INSTALLED AT BEACHWOOD COMMUNITY CENTER

Ron Shelton



High Art Fridays: The Sustainable Art of Plastics, seen here in an installation at ArtHouse, will be exhibited a third time this summer, at Beachwood Community Center.

<https://canjournal.org/high-art-fridays-the-sustainable-art-of-plastics-to-be-installed-at-beachwood-community-center/>



About GardenWalk | Neighborhoods | Act



Ron Shelton — Fairfax

Ron Shelton's Fairfax home is the first he has

<https://www.gardenwalkcleveland.org/stargardeners/>

cover-a-building 2

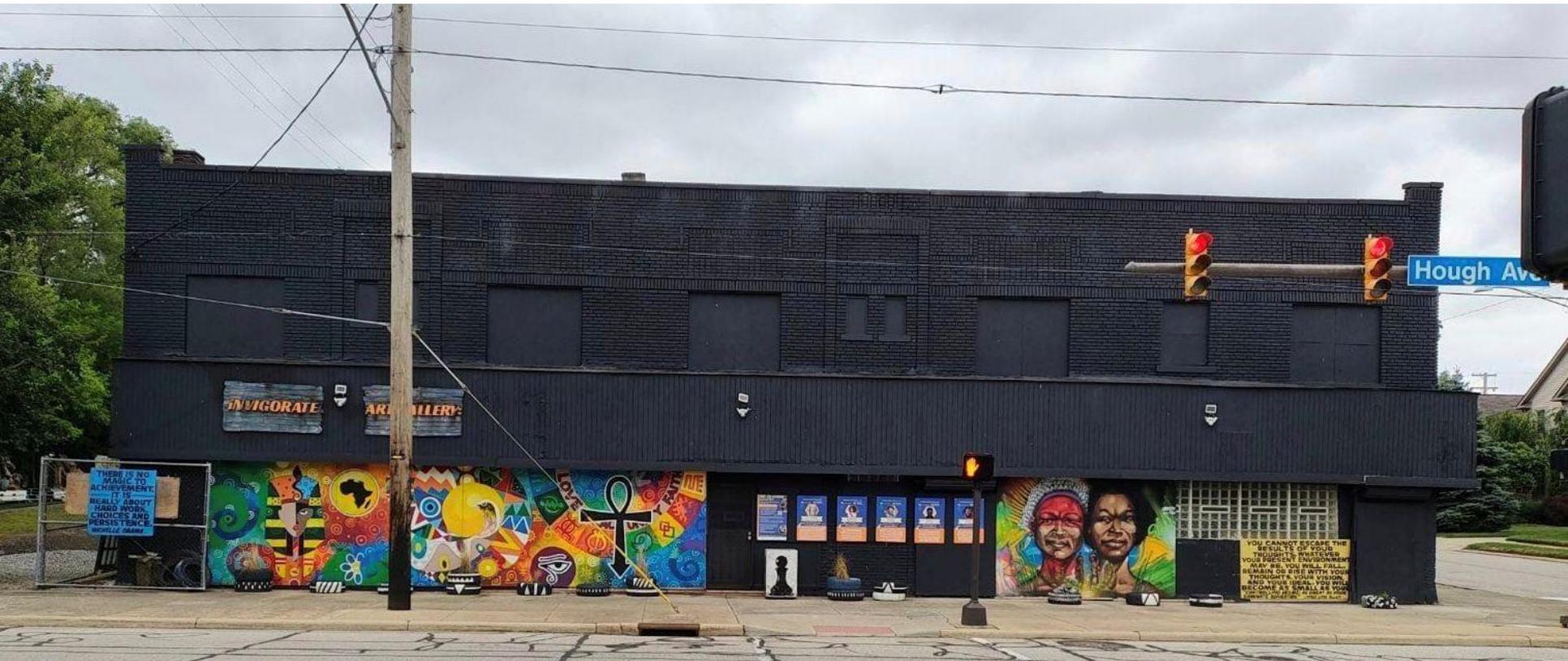
Invigorate Gallery

6500 Hough Ave

The Sustainable Art of Plastics

Valley Art Center, Chagrin Falls, Ohio 2022 cover-a-building 1





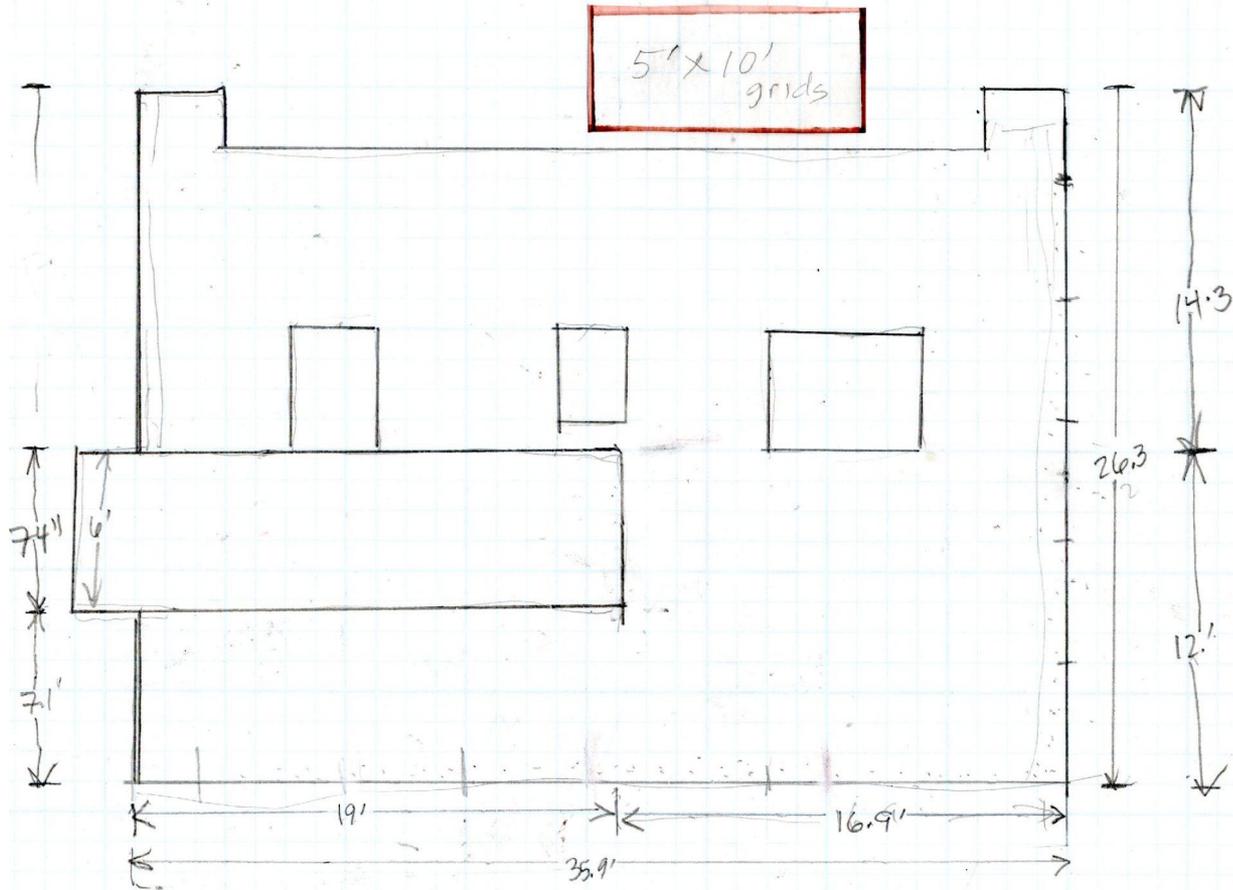
INVIGORATE ART GALLERY

Hough Ave

THERE IS NO MAGIC TO ACHIEVEMENT. IT IS REALITY ABOUT HARD WORK, CHOICES AND PERSISTENCE. MICHELLE DEBARR



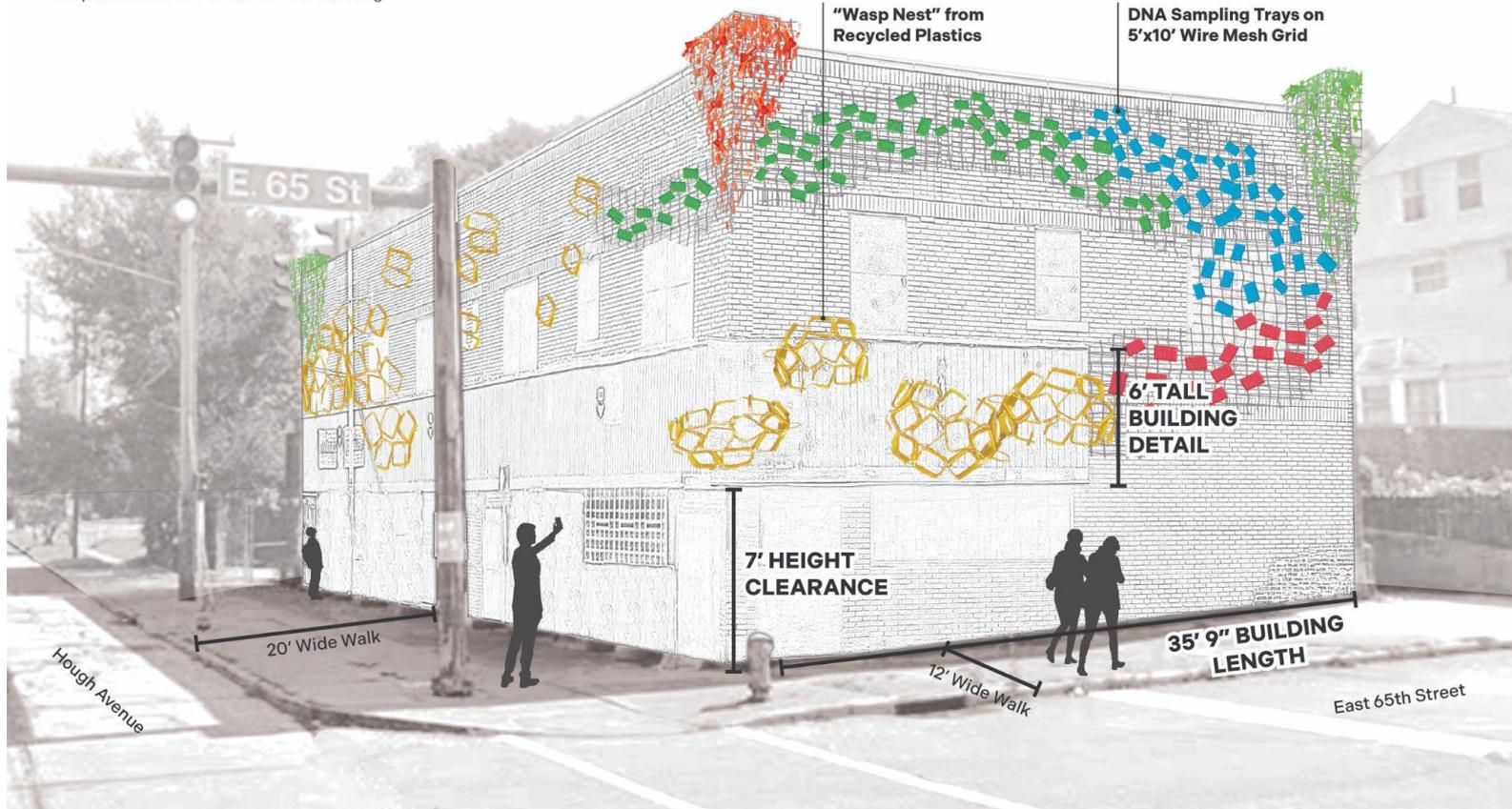
YOU CANNOT ESCAPE THE RESULTS OF YOUR PRESENT ENVIRONMENT. YOU MAY BE YOUR MIND, BUT YOU WILL REMAIN AS STUCK WITH YOUR THOUGHTS & YOUR VISION. AND YOUR BEING. YOU WILL BECOME AS SWIFT AS YOUR THOUGHTS & YOUR VISION. MICHELLE DEBARR



THE SUSTAINABLE ART OF PLASTICS

Invigorate Hough Gallery

A partnership with the Mayor's Office of Sustainability and the Cleveland Clinic, which donated about 50% of the plastic that will embellish the building





5 x 10 ft steel 10 gauge grid systems



Grid anchoring system

$\frac{3}{8}$ " insulated 10mm clamps to anchor grid to surface



Tapcon masonry anchoring screw 3 ¼ inch



DISPLAY ELEMENTS
Recycled Plastics



PROPERTY CONTEXT

6500 Hough Avenue



Google Maps



CITY OF CLEVELAND

Mayor Justin M. Bibb

**MAYOR'S OFFICE OF
SUSTAINABILITY**

75 Erieview Plaza, 1st Floor, Suite 115
Cleveland, Ohio 44114
Phone: (216) 664-2455
Email: Sustainability@clevelandohio.gov

Friday, October 18, 2024

Cleveland Planning Commission

RE: Support for the Ron Shelton *Cover a Building* art installation in the Hough neighborhood

To Whom It May Concern:

In my capacity as a Senior Manager for the City of Cleveland Mayor's Office of Sustainability, I fully support Ron Shelton's application for his art project titled *Cover a Building* in the Hough neighborhood to raise awareness around the issue of plastic pollution.

I have worked closely with Ron for several years on his art projects using plastic as his medium. I have served both as a speaker for several of his community events on the issue of plastic pollution and have also helped organize events that highlighted his art work, most notably the *Stand ApART Parade* held during COVID.

I have also worked with Ron as he served in the role as a Circular Cleveland Ambassador representing the Fairfax neighborhood. His works of art made using plastics and conveying a message about the threat of plastics to environmental and human health aligns well with the goals of Circular Cleveland to transition to a circular economy.

I am confident in Ron's ability to complete the project and to include an educational message to the neighborhood around the issue of plastic pollution and potential solutions. I strongly support Ron's application and endorse a favorable consideration by this Commission.

Please feel free to contact me if you have any questions about Ron's qualifications.

Sincerely,

A handwritten signature in black ink, appearing to read 'Cathi Lehn'.

Cathi Lehn, Ph.D., Sustainability Sr. Manager, Circular Economy
City of Cleveland Mayor's Office of Sustainability
clehn@clevelandohio.org; 216 664 2421



Ellen Rudolph
Senior Director/Art Collection

November 27, 2024

Cleveland City Planning Commission

To Whom It May Concern:

As Senior Director of Cleveland Clinic's Art Collection, I am writing in support of Ron Shelton's *Cover-a-Building 2* project transforming discarded plastic materials from Cleveland Clinic, among other sources, into a dynamic art installation. The project not only promises to inspire wonder but promote awareness of the prevalence and dangers of plastics in our communities.

Addressing a key issue of our time, the art, education and community engagement work Ron is doing around the use of plastics is critical to inspiring innovation and creative problem solving in ways that will continue to benefit our community.

Sincerely,

A handwritten signature in black ink, appearing to read 'ER Rudolph'.

Ellen Rudolph
Senior Director and Curator
Cleveland Clinic Art Collection

GRAY HAUS
STUDIOS

11 November 2024

Cover a Building project
Hough Neighborhood

To: The City of Cleveland Planning Commission

I am writing to support Ron Shelton and High Art Fridays on their innovative project in the Hough neighborhood. Ron has a unique voice in the sustainable art of plastics, and this project highlights the waste stream from the Cleveland Clinic. Ron's application is beautiful and raises the conversation about the environmental impact of plastics in a new way.

This art piece has the potential to benefit the community and start conversations about climate change and personal and institutional responsibilities.

Warm regards,



Christy Gray

FW2025-04 – CLE Moto Imagine West Park Mural

Apr 25, 2025

Project Address: 16211 Lorain Avenue

Type: Signage / Public Art

Project Representative: Joe Dill, WPKND

Approval: Final

Ward 17 – Councilmember Slife

SPA: Kamm’s

Imagine West Park

Murals on Main Street

16211 Lorain Ave



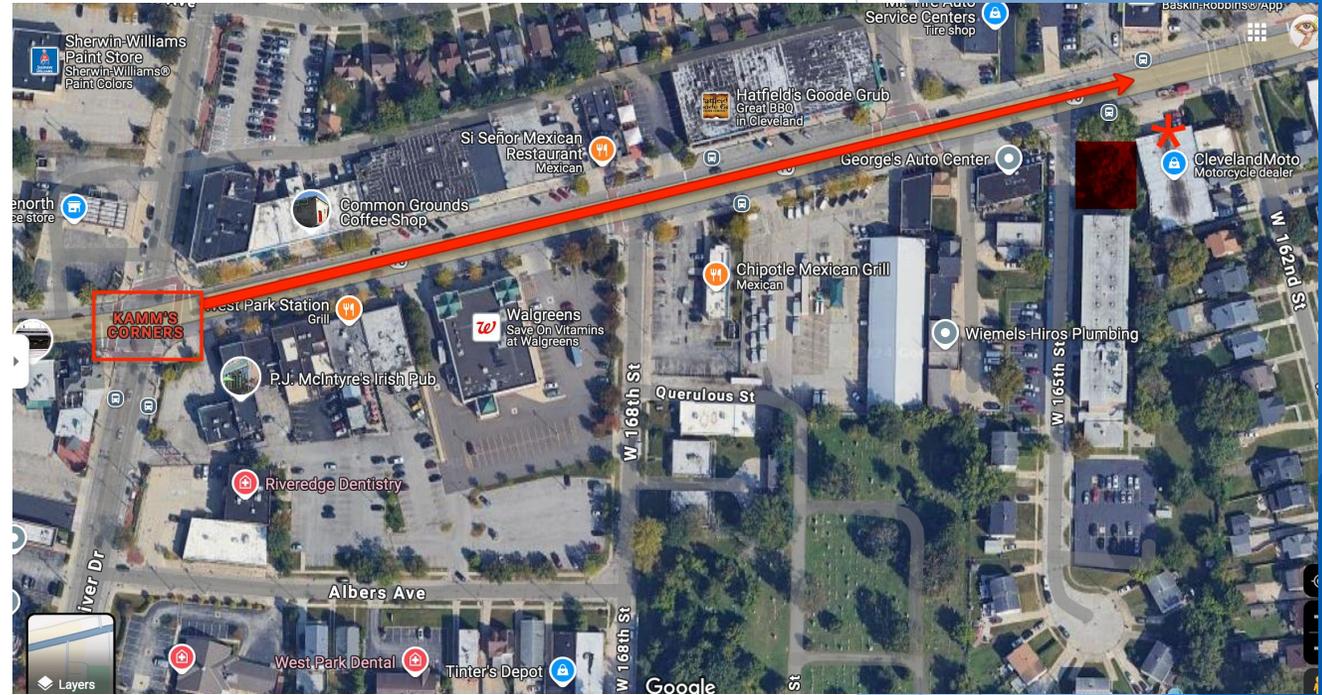


Program Background

- ❖ West Park Kamm's Neighborhood Development's first public art program
- ❖ Funding made possible through a grant from the CDC Leadership Program
- ❖ Three-pronged approach -
 - ❖ Two murals on Ward 17 business corridors
 - ❖ Ten utility box wraps on Ward 17 business corridors
 - ❖ Ten week youth arts program at Riverside Park Homes (completed May - August this year)

The Site

- ❖ 16211 Lorain Ave, Cleveland, OH 44111
- ❖ 0.3 miles from the heart of Kamm's Corner
- ❖ One story structure owned by **Cleveland Moto** adjacent to CMHA Housing
- ❖ West façade of the building roughly 66 ft x 13 ft





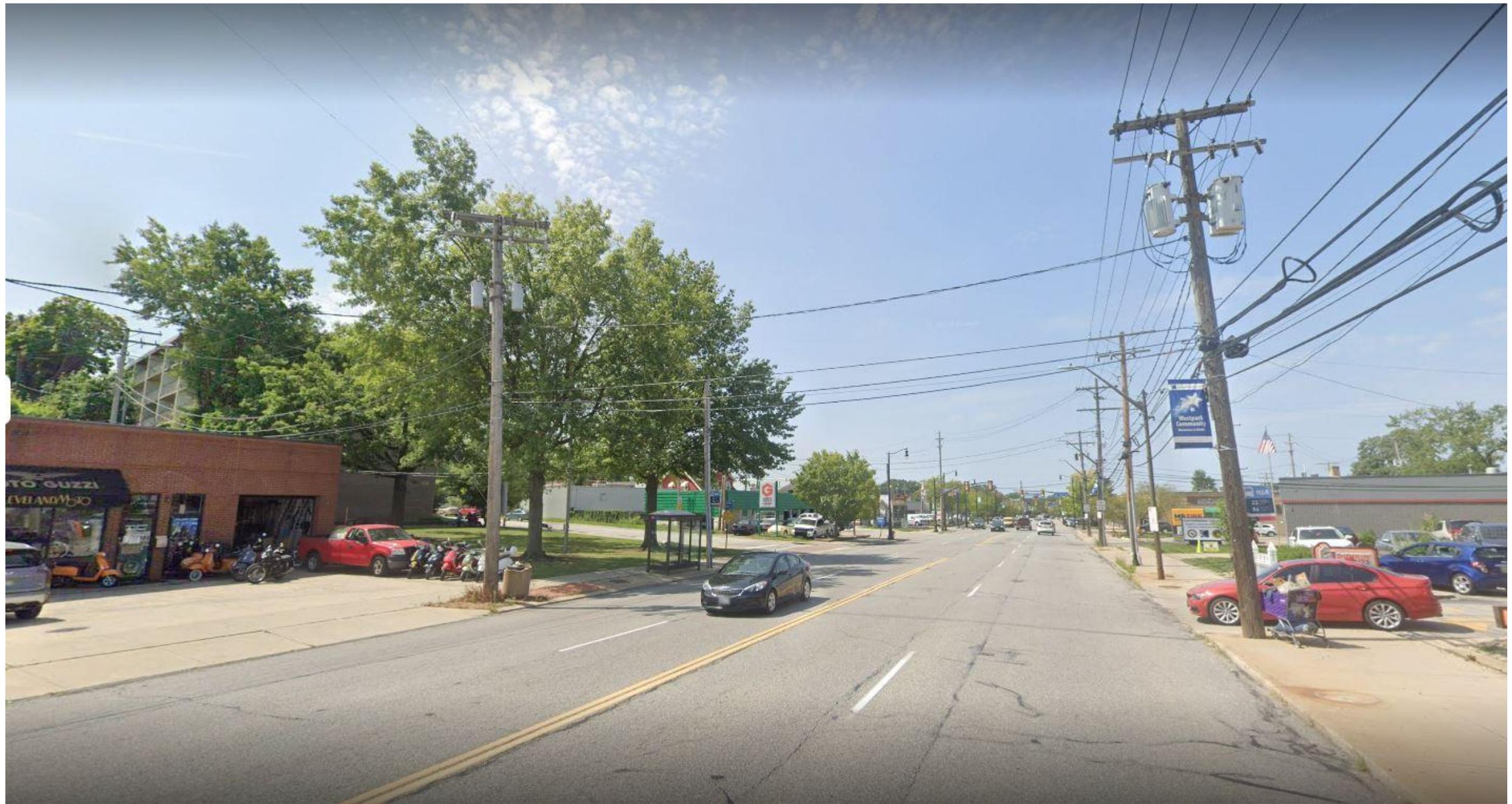














Community Visioning

- ❖ Community engagement process for feedback completed summer of 2023 through surveys and visioning exercises at WPKND events and partner institutions
- ❖ 34% identified Rocky River Reservation as their favorite place in the neighborhood
- ❖ 44% said friendly neighbors and strong sense of community are why they live in West Park
- ❖ Common themes in responses: parks, family ties, sense of community, active neighborhood

Charley Frances

- ▶ Cleveland based artist, homeowner nearby on W130 St.
- ▶ Combines pattern and geometry with classical baroque and historical painting techniques
- ▶ Passion for community art & working with students
- ▶ Has worked on installations in Cleveland as well as Cincinnati OH, Columbus OH, Baltimore MD, Norfolk VA, Toronto Canada



Vantage Points

Driving: Seen at a Glance in Transit- Needs to be impactful as an overall composition

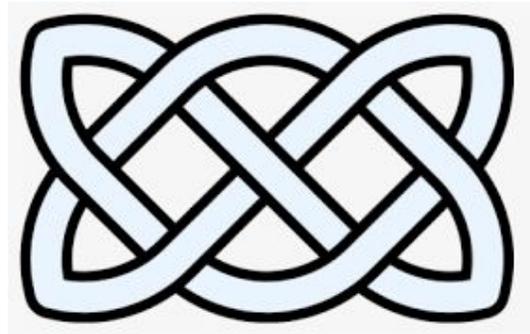


In-Person: Opportunity for viewing detailed elements up close. **Community Gathering Space**



Mural Goals

Composition: Connection &
Nod to Neighborhood History



Story: Nature Grounded in
Hyper-Local Ecosystem



Consulted with experts
at the local Rocky River
Reservation while
planning this
composition

Purpose:

Elevate the Everyday Experience that Connects Us All

Style Inspiration: Nature + Baroque + Rust Belt

Nature forms with high contrast

Background: Oxidized Metal Effect



Element Breakdown

White-tailed deer

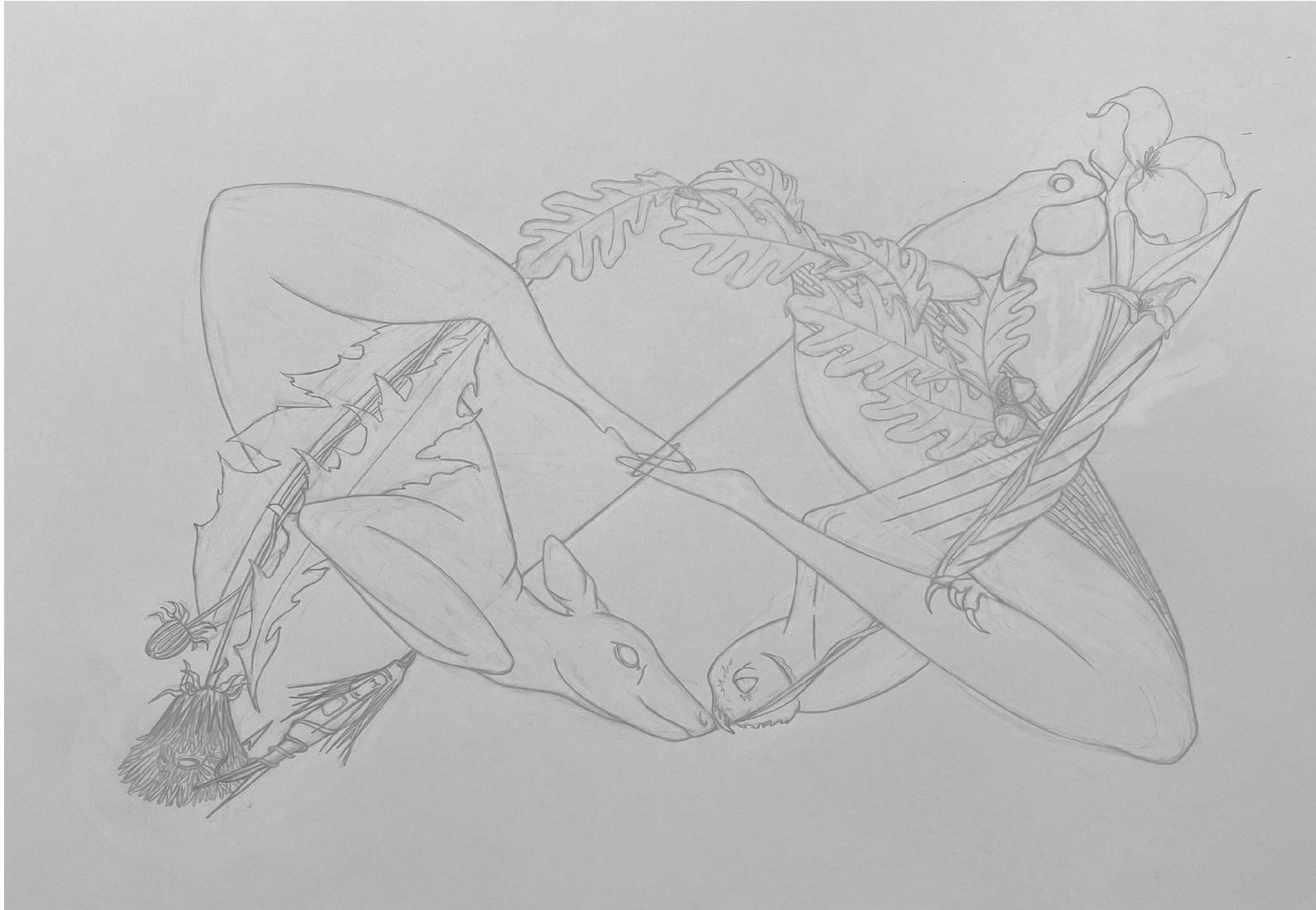
(Grace and balance as part of the everyday experience)

Common Dandelion

(featuring dandelions and acorns as whimsical elements every child notices on a neighborhood walk)

Stonefly fishing lure specific for Trout on the Rocky River

(fishing line has a gold leaf effect that connects and intertwines within the design- fishing element symbolizing human participation in nature)



Nocturnal Grey

Tree Frog (mating call is the backdrop of all of our evening interactions)

Ohio's State Wildflower: White Trillium

Great Horned Owl

(Incredibly prevalent in this area: Protective & ever watchful)

Human element*
that transitions into
a **White Oak Tree & acorns** (human experience as one with nature)

* Human element will be in jewel tones (to be representative of everyone)-- will not have a natural skin tone for this reason

Palette



Raw
Umber



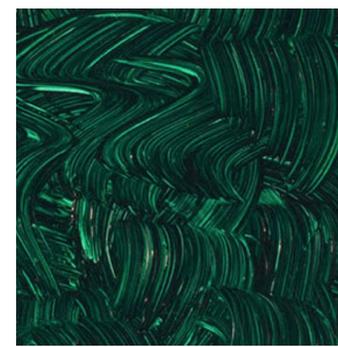
Phthalo
Blue



Dioxazine
Purple



Sun Gold
(Metallic)



Phthalo
Green



Quinacridone
Purple

Utilizing these historical core tones to render a baroque-inspired effect

Background: Deconstructed Marks = Rust-Belt Inspired

Featuring a dark jewel tone palette with flashes of gold

- Mimics the **light right before dawn**
- Nature elements that converge from nocturnal to daytime

Vantage Points

Driving: Overall geometric composition allows the design to be taken in quickly at a glance while viewer is in transit



In-Person: High level of detail and connection between elements adds interest to viewers seeing the design up close/engaging with the design for longer periods of time





Detail/ Close Ups

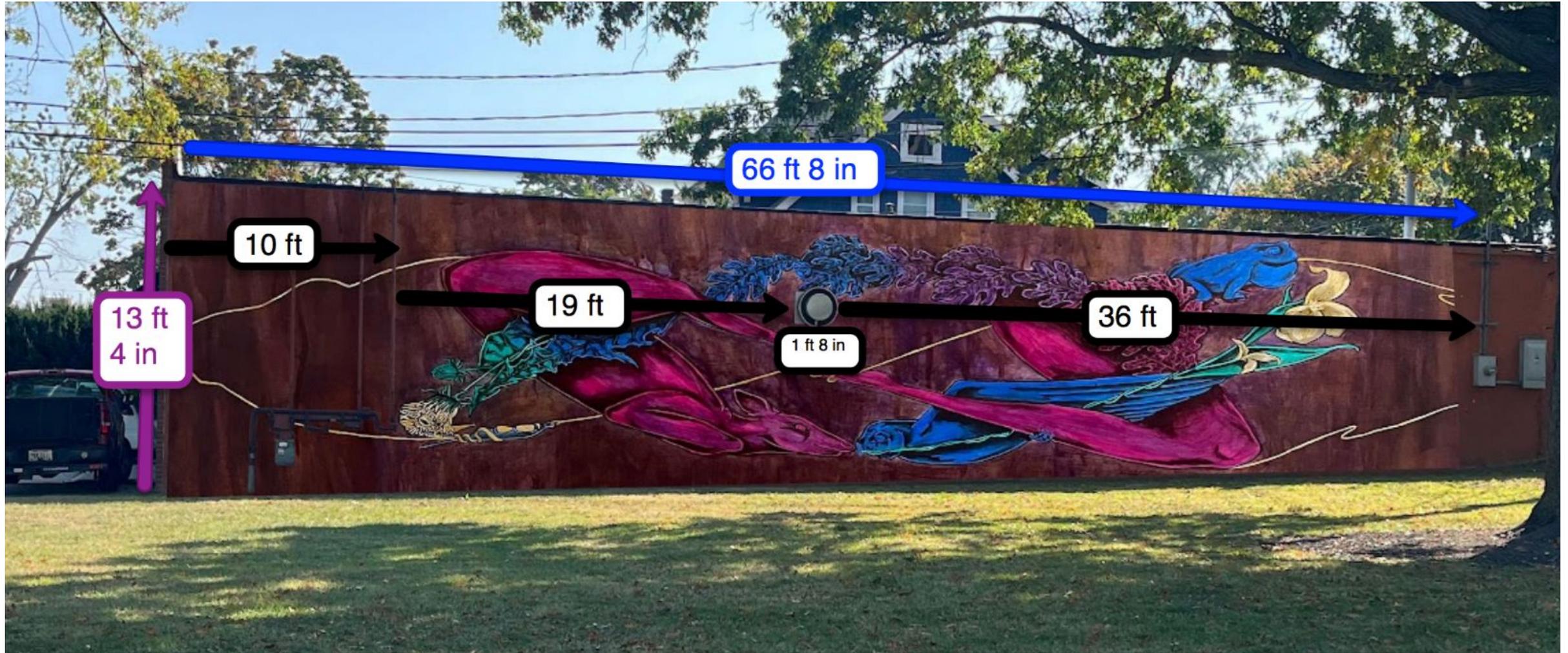




Artist Note: The gold elements on either side will still cross on each end/ be more symmetrical

(This Photoshop mockup is to demonstrate the placement of the forms/ figures– the gold lines will be done last to fit the space. I'm much better at painting, than I am at Photoshop- apologies)





66 ft 8 in

10 ft

13 ft
4 in

19 ft

1 ft 8 in

36 ft





Materials & Process

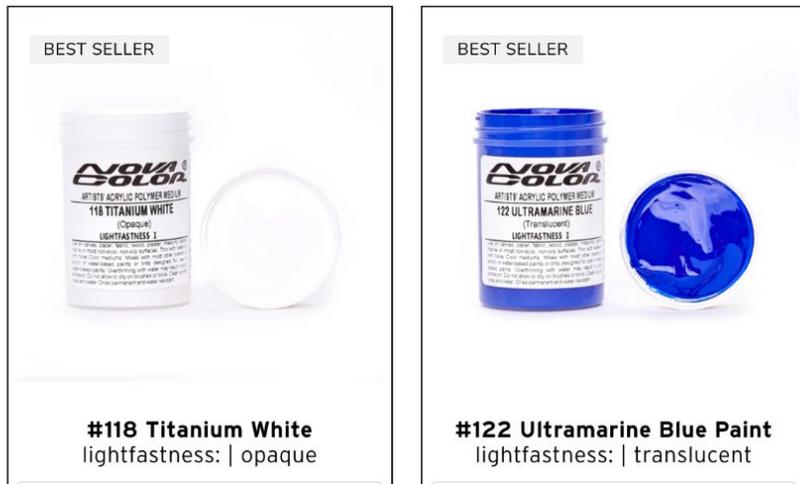
Materials: Nova Color Paint

[Link to Material Safety Data Sheets](#)



NOVA[®]
COLOR
ARTISTS ACRYLIC PAINT

ACR



Process:

Primer (2-3 layers)

Brushwork applied by hand in multiple layers

Two coats of water-based polyurethane sealant (applied by hand with a combination of brush and roller at once)



Maintenance

Maintenance Terms:

West Park Kamm's Neighborhood Development pays for first five years of maintenance.

Property owner pays for the following five years.

Piece is required to remain in place for ten years per the terms of the grant.

Sealant: The water-based Poly-Urethane sealant decreases the possibility of long term yellowing as much as possible

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

FW2025-04 – CLE Moto Imagine West Park Mural

Apr 25, 2025

FWDRAC gave final approval with conditions on 4/16/25:

- Wall to be cleaned and specialty anti-peeling primer to be used, with the suggestion of re-examining color tones to ensure art stands out and does not blend too deeply to existing wall color.

EC2025-010 – IMPART216 Murals

Apr 25, 2025

Project Address: Multiple addresses in Mt. Pleasant

Type: Murals (location only)

Project Representative: Robin Robinson, Lead Artist

Approval: Conceptual Approval (locations only)

Ward 2 – Councilmember Bishop

Ward 4 – Councilmember Gray

SPA: Mount Pleasant

Transformative Arts Fund Impart 216 Breathing Creativity into Community



IMPART 216

*BREATHING CREATIVITY
INTO COMMUNITY*



CITY OF CLEVELAND
TRANSFORMATIVE Arts Fund
2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

About The Project

Impart216 is a unique initiative to empower six (6) teams of local artists and the Mt. Pleasant community through the potential of mural-making and education. Our driving motivation is to foster reclamation while honoring the history and cultural diversity of the community. We are working closely with the local CDC (NuPoint), ThirdSpace Action Lab, and other community organizations and stakeholders to use our project as a spark for the strategic revitalization plan in an art desert.

We are bringing a dynamic intensity and walkable beauty into a high-traffic, historic intersection through our clustered mural layout. There is a focus on themes that elevate and affirm the community. The aim for each team's actual mural design is to weave together elements of the community input, their research, and our overarching cohort's themes – all while still maintaining their own artistic autonomy.

The process of this project emphasizes the power of collaboration in many regards. There is a multi-tiered system of education as we plant seeds to spark curiosity and awareness. The cohort is made up of mentor and support artists. There is an element of youth education and involvement in working with the artists and coordination of the unveiling celebration. In hopes of democratizing and inspiring more infrastructure for public art, we have also been documenting the process and planning to illustrate all of the details and challenges that come with this initiative.

Each mural will be sealed and protected with a varnish that has a minimum of a five (5) year lifespan. We will also be including QR codes that will connect to more information and link the project's background.

IMPART216 BREATHING CREATIVITY
INTO COMMUNITY

CITY OF CLEVELAND
TRANSFORMATIVEArtsFund
2024

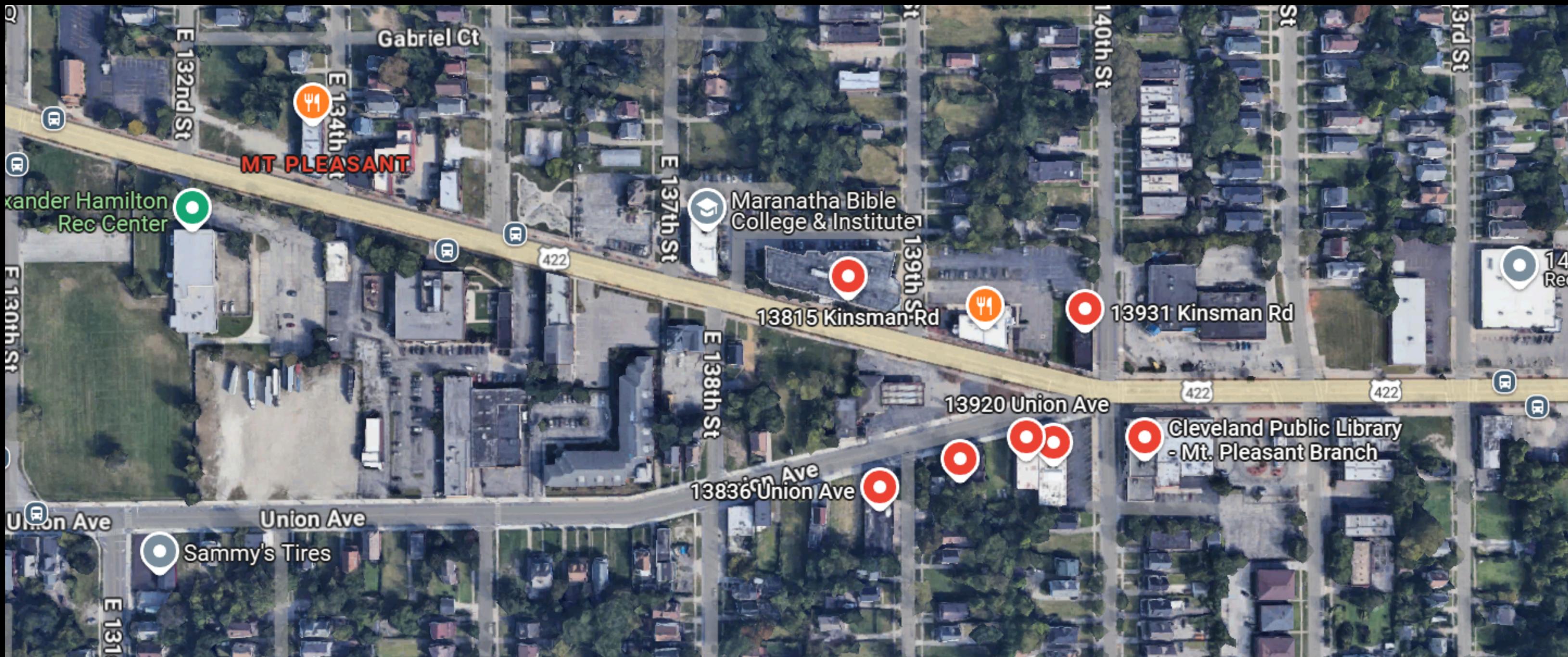
IMPART 216

**Quick
Walk
Through**



Mt. Pleasant - Our Focus Area

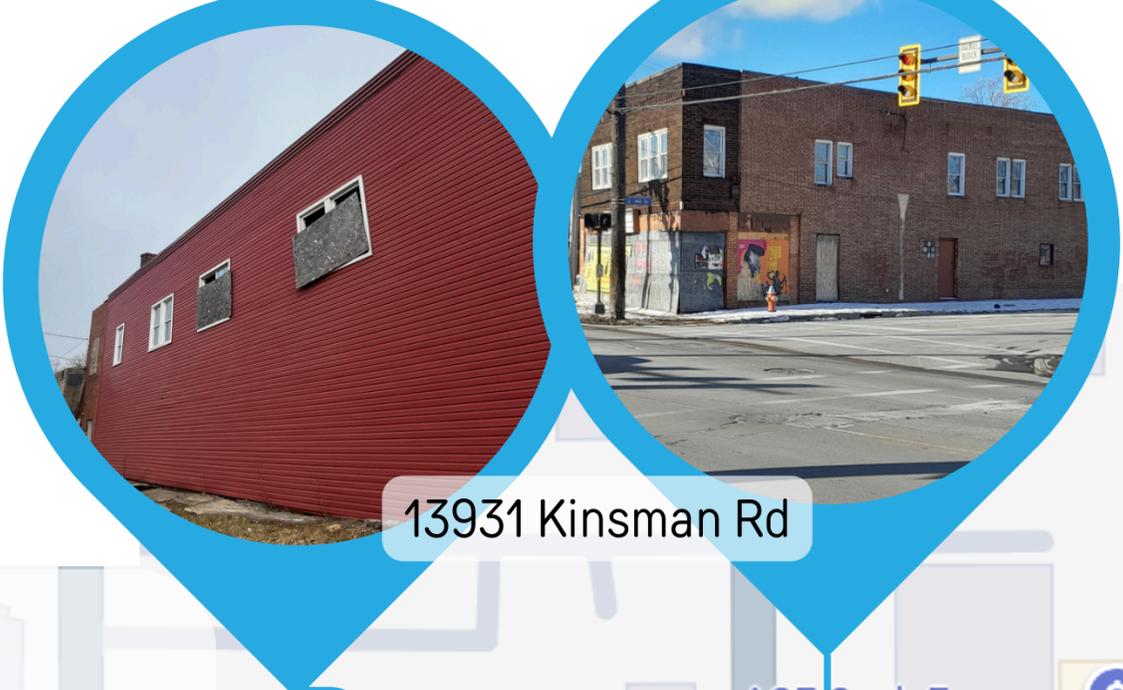
Bird's Eye View



Confirmed Sites

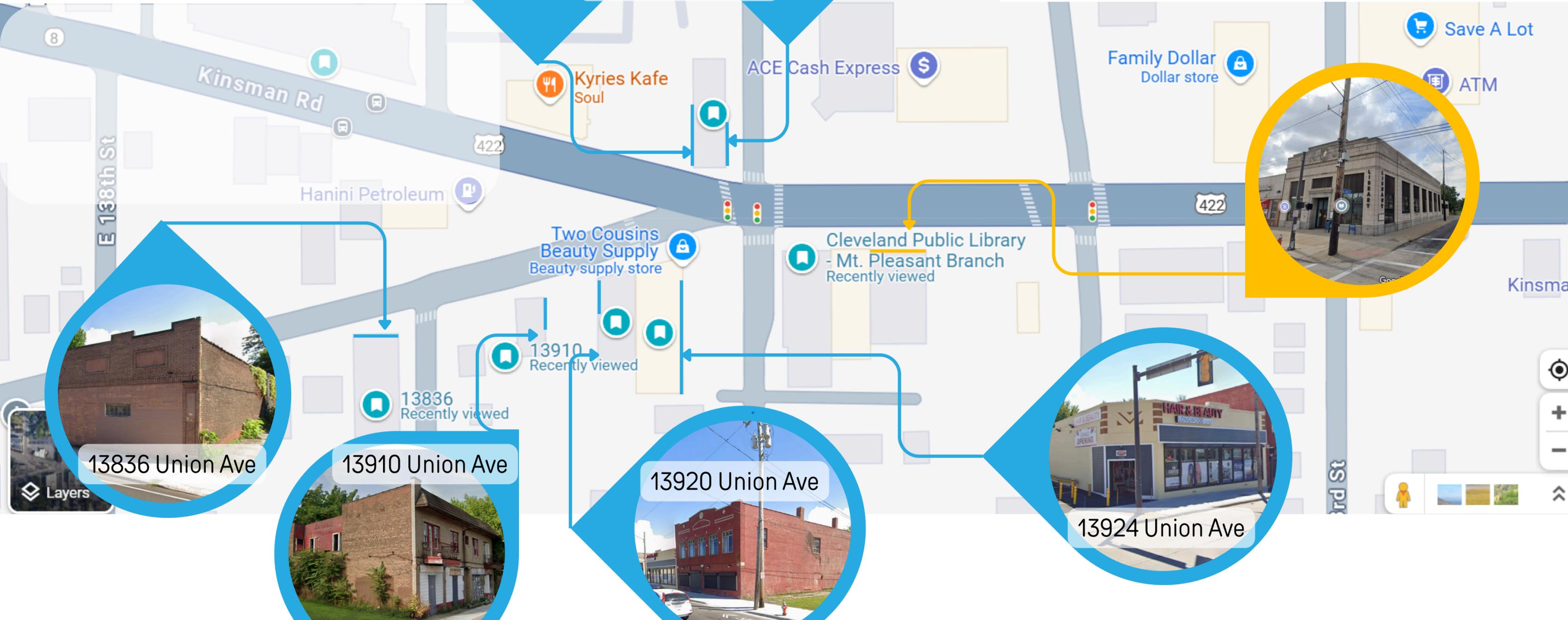
Blue = Full Murals

Yellow = Vinyl Additions



13931 Kinsman Rd

Site:	Dimensions (by foot):
13924 Union	16' x 108'
13920 Union	30' x 26'
13910 Union	30' x 26'
13836 Union	46' x 11'
13931 Kinsman (Vinyl Siding)	32' x 38'
13931 Kinsman (Brick)	32' x 34'



13836 Union Ave



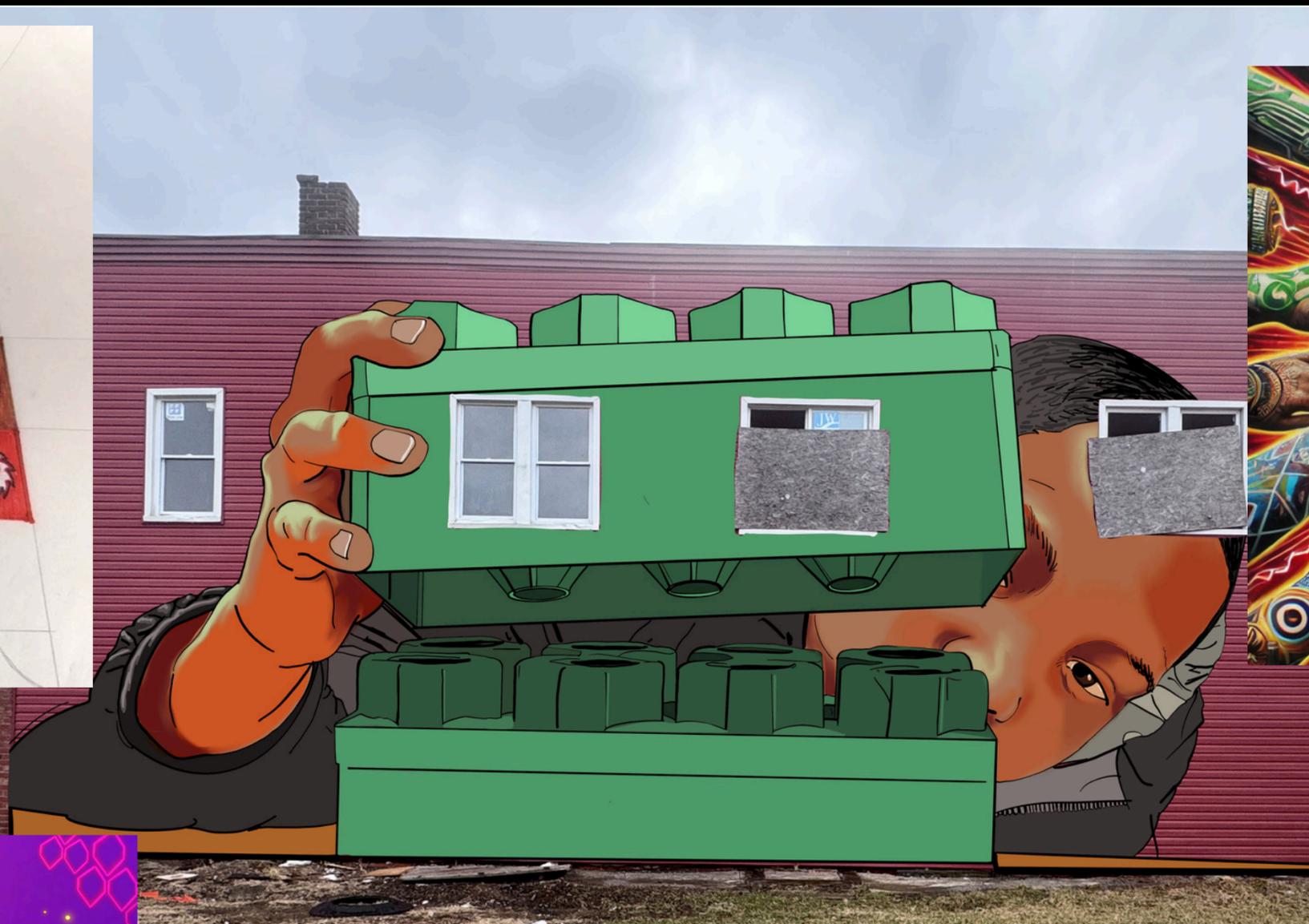
13910 Union Ave



13920 Union Ave

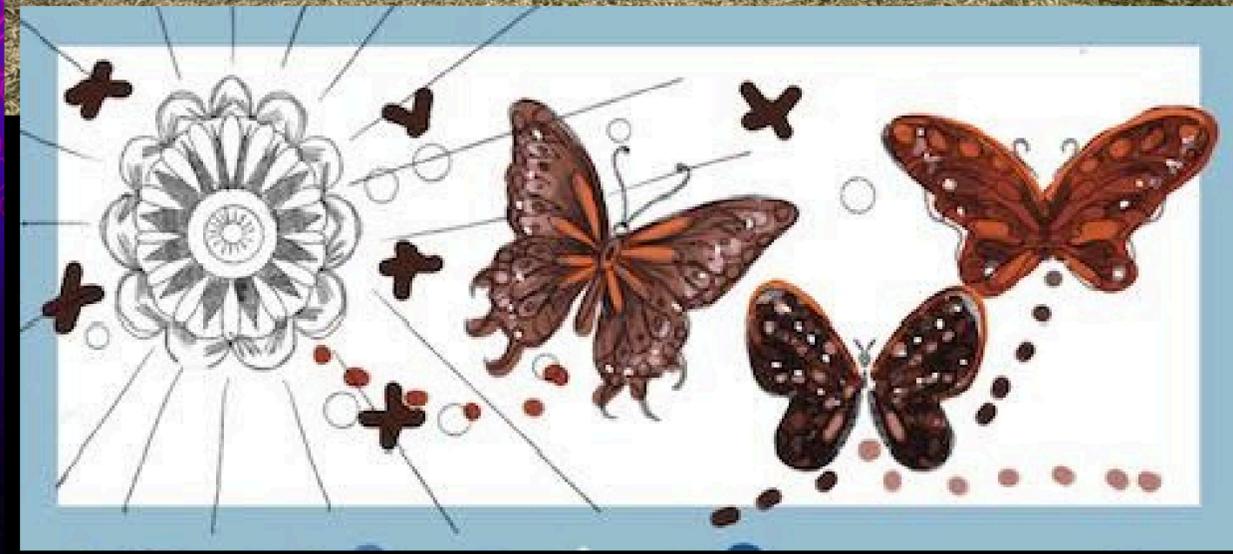
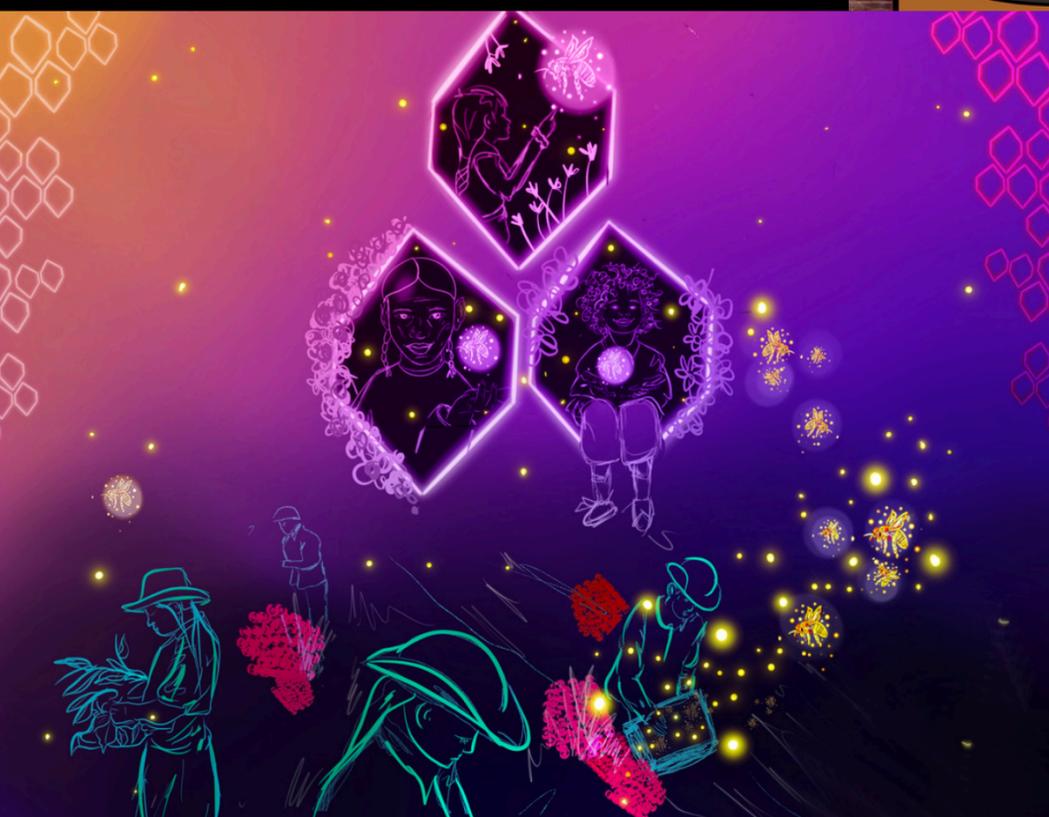


13924 Union Ave



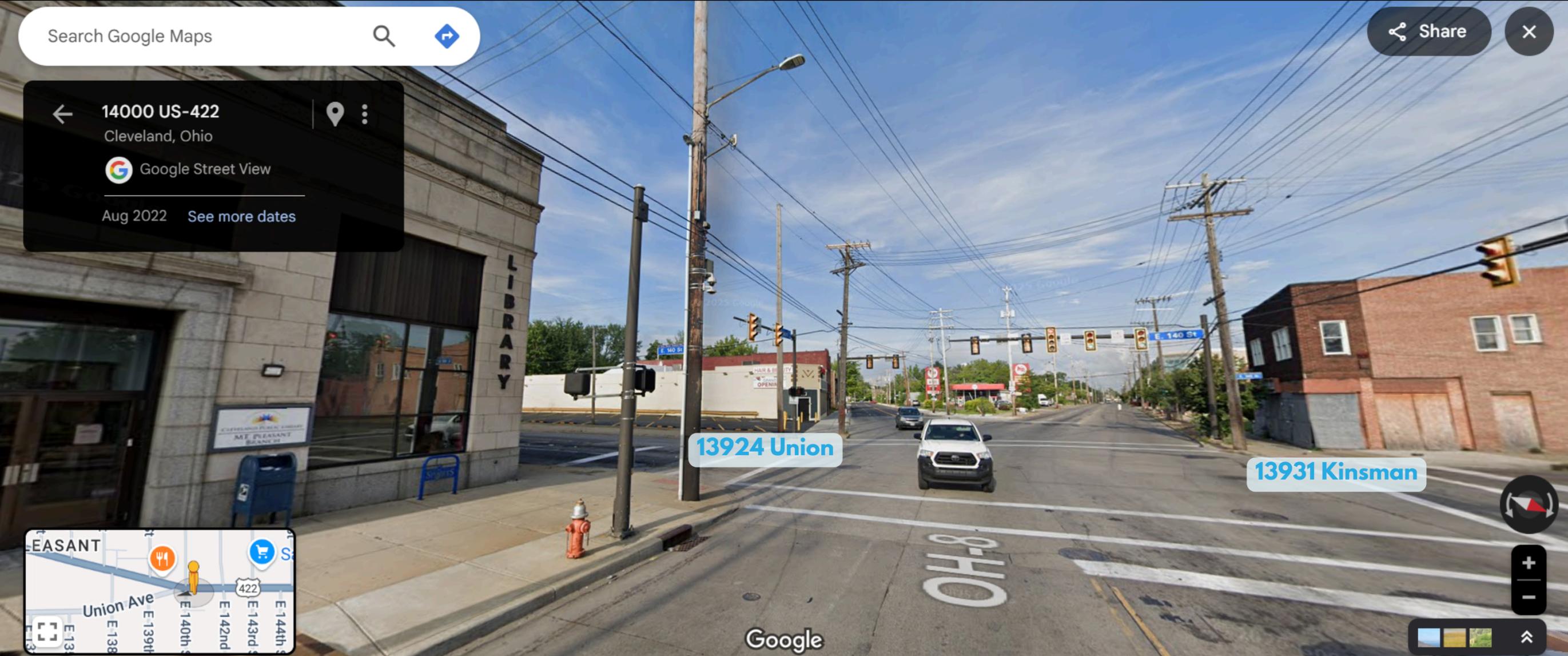
~ Revitalization ~ Migration ~
~ Transformation ~

6 Sites
Teams
Conceptual Ideas



Intersection of Union Ave, Kinsman Ave, and E 140th St

Street view context of first 3 mural sites in cluster and the library windows (vinyl applications)



Location

↳ **13924 Union Ave**

Team

↳ **Kwesi Nana Agyare + Dr. Tameka Ellington**



Dimensions



16' x 108'

Meet The Team!

Kwesi Nana Agyare:

As a creative professional, I focus on developing spaces and experiences that empower and connect individuals through design. My work is deeply rooted in a collaborative approach that considers both the aesthetic and emotional impact of every project. I believe in creating environments that reflect diverse experiences and perspectives, ultimately shaping spaces that feel welcoming and transformative. I am inspired by the intersection of identity, culture, and community—especially the strength, resilience, and beauty found in the experiences of women of color, while celebrating the vibrancy and depth of different cultural narratives.



Kwesi Nana Agyare
Mentor
[@kwesiagyarearts](https://www.instagram.com/kwesiagyarearts)



Dr. Tameka Ellington
Support
[@dr.tamekaellington](https://www.instagram.com/dr.tamekaellington)

Dr. Tameka Ellington:

I like to exemplify the energy of struggle to triumph and a growth mindset. I grew up in the inner city of Cleveland and was raised by a single mother. I attribute education and dedicated mentors as resources that helped me attain the peace of mind needed to go after my dreams. I am an interdisciplinary artist and curator with a background in personal and professional development, public speaking, and fashion. I've been the author of four books, including the award-winning book, TEXTURES: the history and art of Black hair written for its namesake exhibition co-curated by myself, featuring artifacts and contemporary artworks musing on Black hair and Black culture. I obtained a BA from KSU, an MA from Michigan State University, and a PhD in Curriculum and Instruction from KSU.



Location

↳ **13931 Kinsman Rd**
(Brick) (Street Side)

Team

↳ **Nathalie Bermudez + Jurnee Ta'Zion**



Dimensions



32' x 34'

(Portion chosen to reflect best condition and owner preferences)

Meet The Team!

Nathalie Bermudez:

I consider myself an empirical visual artist. I began my journey in painting in 2017, seeking to connect more deeply with my origins. I decided to base my artistic work on the indigenous cultures of Latin America, reflecting heritage and creating a sense of home. Painting has become a bridge between my past and future, emphasizing vivid reflections of beauty and color. I aim to capture my roots and history, often incorporating themes of protest against abandonment. Some of my favorite notable opportunities to showcase my work have been at the Beck Center for the Arts, 78th Street Studios, and House of Blues, with Samsung in New York City.



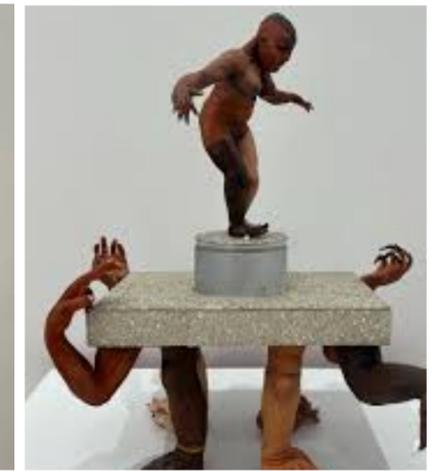
Nathalie Bermudez
Mentor
([@nath_bermu](#))



Jurnee Ta'Zion
Support
([@noigjurnee](#))

Jurnee Ta'Zion:

I am a versatile artist, surrounded throughout my entire life. Coming from a family of Black artists, with a long lineage of creatives, from my ceramicist great-grandmother to my painter nephew. My body of work serves as a profound exploration of the complex journey toward self-discovery. I explore a diverse range of mediums, including painting, printmaking, drawing, ceramics, with a primary focus on sculpture and 3D art. My creations aim to articulate subjects challenging to express verbally but also to inspire others to embark on a similar journey, finding solace, liberation, and growth.



Location

↳ **13931 Kinsman Rd**
(Vinyl) (Lot Side)

Team

↳ **Darius Steward + Lolita Wilson**



Dimensions

→ **32' x 38'**

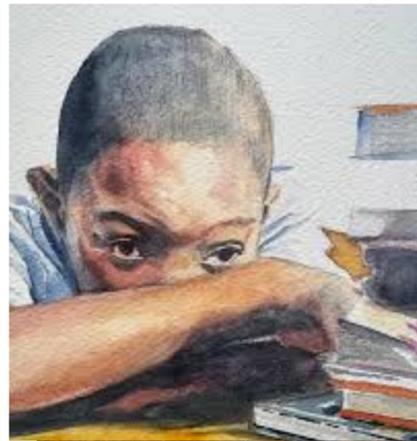
Meet The Team!

Darius Steward:

I am a visual artist and educator, hailing from East Cleveland. With great determination, I graduated from the University of Delaware obtaining a MFA in 2010. My undergraduate was in Drawing and Painting at Cleveland Institute of Art. I recognize the importance of education and mentorship, while investing in the self. My creative process is in the future of humanity. Symbolically and literally, I address cultural and societal conflicts to open conversation across racial, socioeconomic, gender and cultural lines. I also serve as the Program Manager for the Cleveland Museum of Art in their Education Department and I recruit and mentor inner city youth across interdisciplinary arts fields.



Darius Steward
Mentor
dariussteward.com



Lolita Wilson
Support
lolitawilson.com



Lolita Wilson:

I am a Cleveland-based visual artist passionate about storytelling through mural work, community engagement, and conceptual art. With a foundation in drawing, design, and painting, I have exhibited work in numerous local galleries and public spaces. My work continues to evolve, blending traditional techniques with contemporary narratives that highlight social issues, personal transformation, and collective healing. Through this mural project, I aim to engage with local residents and contribute to a lasting artistic legacy that fosters dialogue and unity.

Location

↳ **13920 Union Ave**

Team

↳ **Alicia Vasquez + Santanna Watson Stokes**



Dimensions



30' x 26'

Meet The Team!



Alicia Vasquez
Mentor
[@aliciavasquezart](https://www.instagram.com/aliciavasquezart)

Alicia Vasquez:

My approach refers to discovering self identity and utilizing physiological studies of humans to echo the animal and spiritual world. I use a lot of patterns and bright colors combined with organized color schemes to soothe the viewer's human psyche. Within the viewer's gaze of each of my pieces, there is a message of hope, love and peace that also can possibly bring the viewer to a deeper realization of themselves. This builds for a stronger sense of self which in turn can also build stronger sense of relationship ties and everyday experiences which eventually leads to a stronger community.



Santanna Watson Stokes
Support
[Santanna's Art Gallery](https://www.instagram.com/santannaartgallery)

Santanna Watson Stokes:

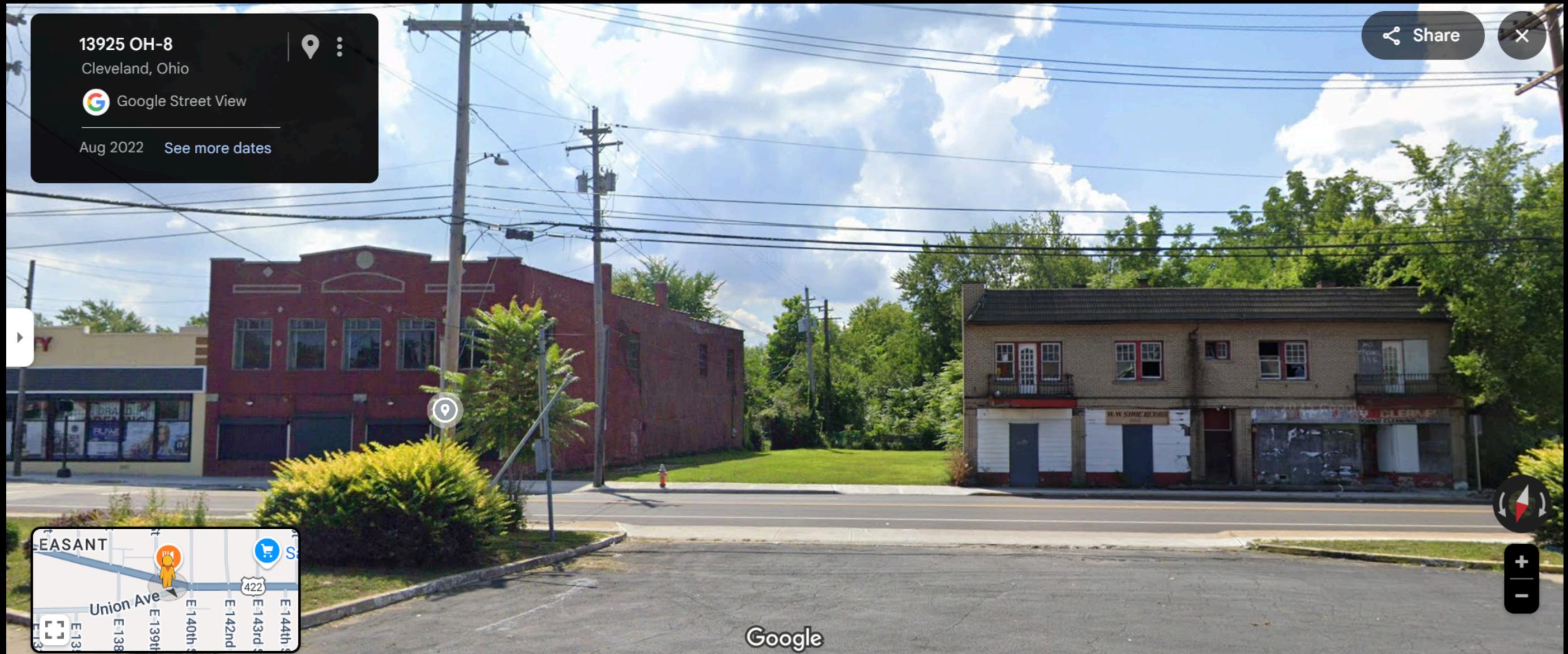
I've been drawing ever since I can remember. I was self taught but in my later years, I attended Cuyahoga Community College to learn the history behind art. For me, creating art is a form of therapy that actually saved my life. The three most impactful qualities that stood out in my journey were allowing myself to be humble, thinking outside the box and realizing that there is more on the table than we think! I believe that it's important to contribute to art awareness, especially in communities such as the ones that I have grown up in. I would also like to collaborate more aggressively with emerging artists and organizations that directly impact our communities in a positive way in regards to art and personal growth.



Context of Murals Mirroring Each other as seen from the gas station on Kinsman

13920 Union

13910 Union



Location

↳ **13910 Union Ave**

Team

↳ **Rickey Lewis + Christa Freehands**



Dimensions



30' x 26'

Meet The Team!

Rickey Lewis:

I specialize in fine art, with my primary discipline being oil on canvas. However, I have designed and produced murals with commissions that included public work with RTA, CMHA, Metro Hospitals, and Cleveland Public Housing. Recently, I have been working as a social activist with my interactive arts learning project called, "I care about my life & I care about your life". This project involves community members, law enforcement, and artists to help change the stigma of opioid use and social equity of teens.

The University of Akron, 1975.
The Art Institutes, 2009.



Rickey Lewis
Mentor
rickeylewis.com



Christa Freehands
Support
[@christafreehands](https://www.instagram.com/christafreehands)

Christa Freehands:

Painting on canvas and fabrics is my dominant medium. Even though I work on a lot of small-scale projects, I have my hands in several different mural projects around the city. Some murals I have participated in were with other artists, but the ones I do on my own truly highlight my style. Surrealism and some pop or graphic art tend to be my main approach on personal pieces. I also continue to practice different styles with different mediums and color palettes to improve myself. I want people to see my work and feel connected.



Location

↳ **13836 Union Ave**

Team

↳ **Dayz Whun + Lacy Talley**



Dimensions



20' x 46'

Meet The Team!

Dayz Whun:

I am a true fan of The Arts in every sense & style, form & medium. Having an outlet, an ambitious way of expression, is the best form of freedom. I have disciplined myself in various art forms, including painting, drawing, mural painting, screen printing, stained glass, concept development, tattooing, body art, and graphic design. I am also an entrepreneur, business owner, and community leader. My enterprises, 4030 Studios and Red Lion Tattoo, are staples of the community, serving as gathering places, event centers and places for the exchange of ideas.

Cleveland School of the Arts, 1997.
American Art Institute of Pittsburgh, 2003.



Dayz Whun
Mentor
(@dayzwhun)



Lacy Talley
Support
(@lacerrrr)

Lacy Talley:

I am known for colorful, eccentric figure-based acrylic paintings that capture otherworldly existences with a jovial poise. My bright, bold palette is complemented by the different perspectives I push in my pieces. With a Bachelor's in Visual Communication Design and a minor in Pan African Studies from Kent State University, my creative journey has centered on branding, illustration, and mural art. My distinctive fusion of Afro Futurism and Surrealism manifests through acrylic paint, resin, clay, and digital mediums.

Kent State University, 2018.



Context View from E. 138th to E 140th on Union

13836 Union Ave



Thank You!

from our team:

Robin Robinson - Lead Artist

Rebecca Groth - Program Coordinator

Ingenuity Cleveland - Institutional Partner



IMPART216
BREATHING CREATIVITY
INTO COMMUNITY



CITY OF CLEVELAND
TRANSFORMATIVE Arts Fund
2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Euclid Corridor Buckeye Design Review – Staff Report

EC2025-010 – IMPART216 Murals

Apr 25, 2025

ECDRAC gave conceptual approval (with no conditions) on 4/24/25.

Neighborhood Critters Mural

Apr 25, 2025

Project Address: 4497 Broadview Rd

Type: Signage / Public Art

Project Representatives: Mike Sobeck, Artist & Connor Brentar, Old Brooklyn CDC

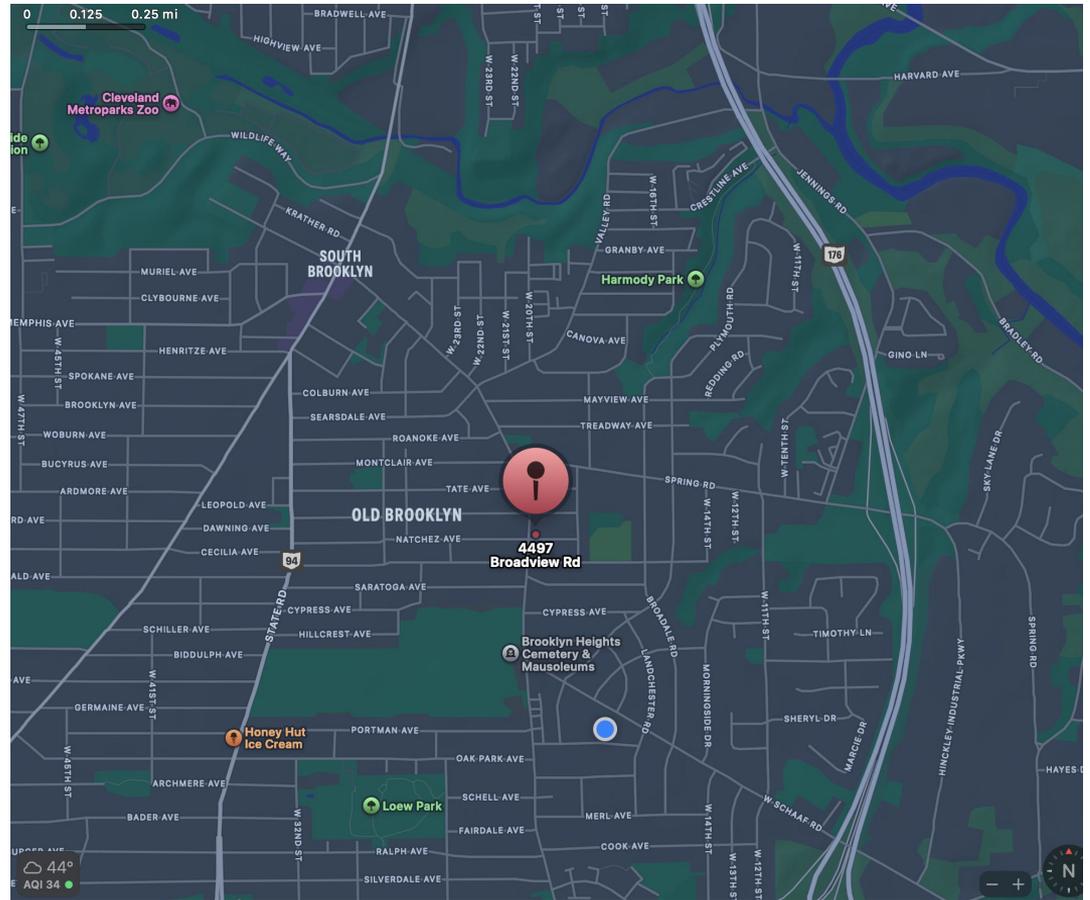
Approval: Final

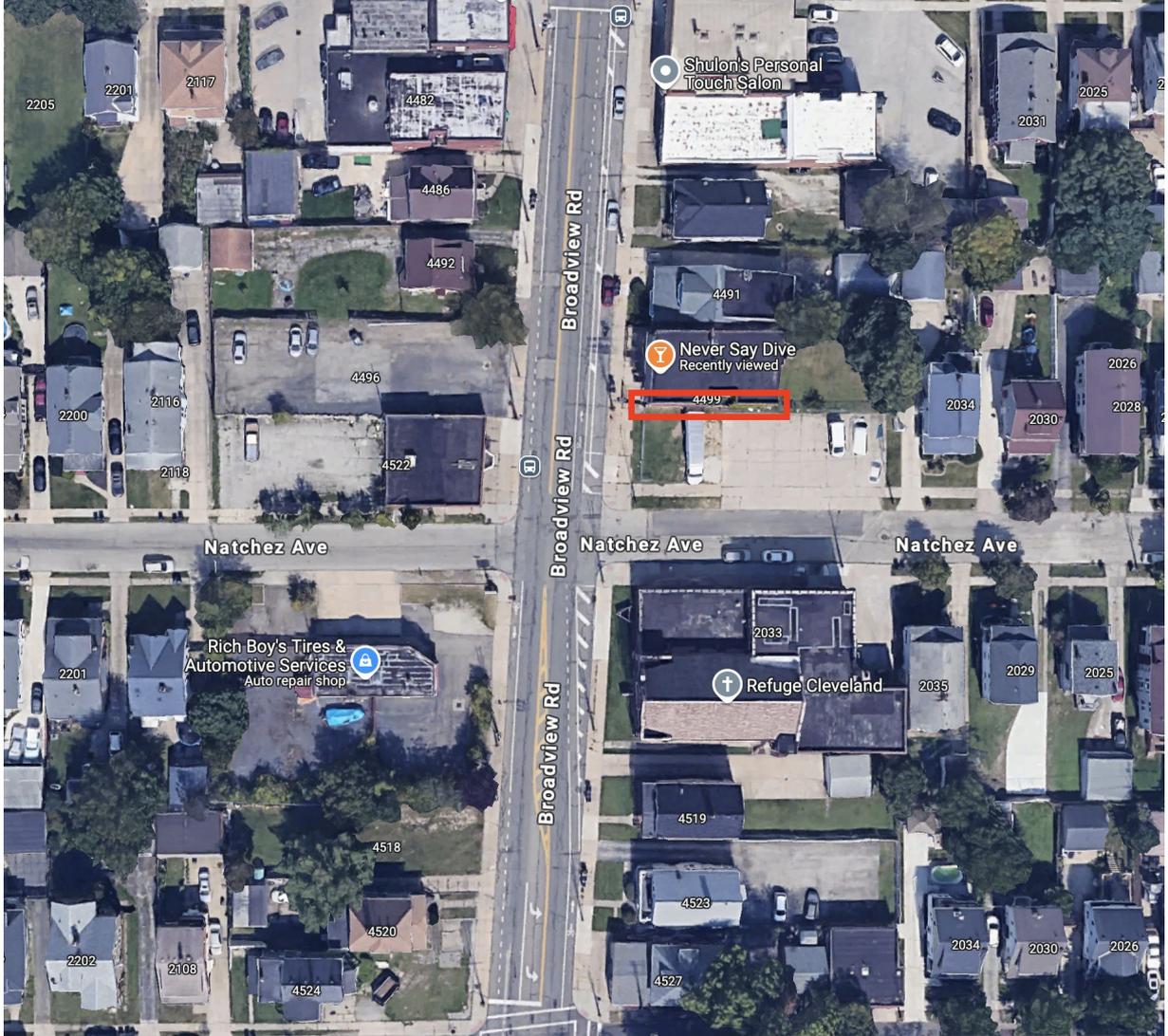
Ward 12 – Councilmember Maurer | **SPA: Old Brooklyn**

Neighborhood Critters Mural

4497 Broadview Rd

Site Context





2205

2201

2117

4482

4486

4492

4496

4522

2200

2116

2118

2201

2202

2108

4524

4518

4520

Shulon's Personal Touch Salon

Never Say Dive Recently viewed

4499

Broadview Rd

Broadview Rd

Broadview Rd

Natchez Ave

Natchez Ave

Natchez Ave

Rich Boy's Tires & Automotive Services Auto repair shop

Refuge Cleveland

2033

4519

4523

4527

2031

2025

2034

2030

2026

2028

2029

2025

2034

2030

2026

Street context



View from Broadview



View from across Natchez



View from across Broadview



View from Natchez

Design



Materials: exterior latex on brick



The Art Garden TAF Mural at Stockyard Lounge

Apr 25, 2025

Project Address: 5913–5915 Denison Ave

Type: Mural / Public Art

Project Representatives: Luis Rivas, MetroWest CDC

Approval: Final

Ward 14 – Councilmember Santana | **SPA: Stockyards**

Support from:



THE ART GARDEN

art trail beauty to uplift the
human spirit

GROUP

BBRAIN

Art Garden: Cultivating Sustainable Art for Cleveland

Public Art (Mural): 5915 Denison Ave Cleveland OH 44102

BlackBrain Group's *Art Garden* is a transformative public art initiative supported by Mayor Bibb's **Transformative Arts Fund (TAF)** in partnership with Metrowest CDC. This project aims to extend its impact through murals and sculptures across the city. Focused on **growth, real-world experience, and community.**

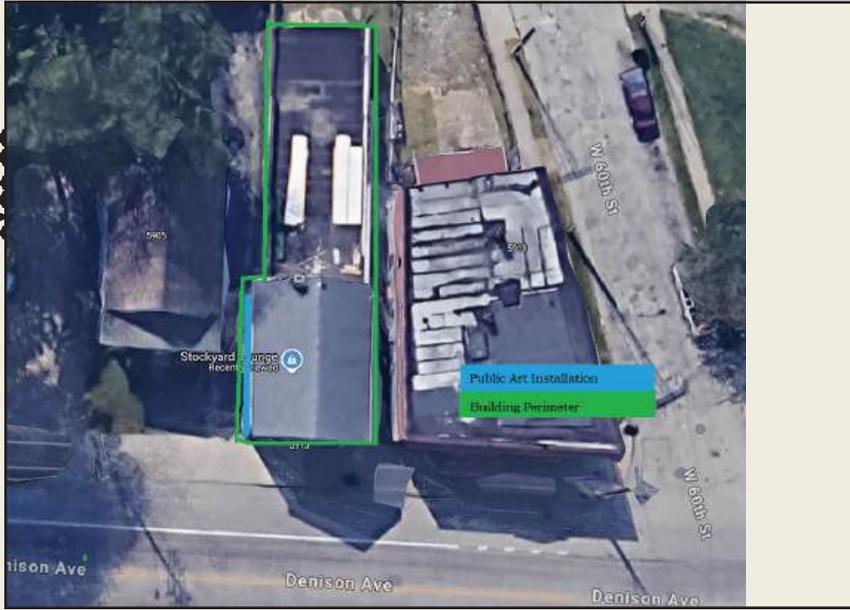
The **murals serve as visual narratives**, blending ancient and modern symbols (Cleveland's industrial scene, migration stories, and more) to reflect the city's diverse culture, history, and social evolution. They also provide a **platform for young artists** through the *No Pressure. No Diamonds.* program, which offers hands-on training along with mentorship.

By investing in these murals, we aim to bring **beautification of neighborhoods through art**, and enhances neighborhood identity. This initiative aligns with the city's vision for equitable, community-driven urban revitalization.

Support from:



MAP



StockYard Neighborhood

CONTEXT



Address:
5915 Denison Ave, Cleveland, OH 44102



Address:
5915 Denison Ave,
Cleveland, OH 44102



Address:
5915 Denison Ave, Cleveland, OH 44102



Address:
5915 Denison Ave, Cleveland, OH 44102



Address:
5915 Denison Ave, Cleveland, OH 44102

Peace Tree

Rooted in remembrance. Blooming with possibility.

Peace Tree is a living mandala of memory, spirit, and harmony. At its center lies a radiant heartwood—encased in sculptural roots—illuminating the seed of unity that anchors all branches. Emerging from this core, the tree's limbs extend like open arms, bearing blossoms from many cultures, seasons, and stories.

Each petal reflects a fragment of collective heritage—an offering to peace, grown through generational resilience. Interwoven roots mirror our interconnected lives, reminding us that strength comes not from sameness, but from the beautiful tension of our differences working together.

A celebration of shared earth and spiritual kinship, Peace Tree invites viewers to reflect on the truth that we are not separate, but part of a vast, blooming whole.



ART

ART



Thank You!



Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Ord. No. 496-2025 (introduced by Council Members Bishop, Hairston, and Griffin – by

Apr 25, 2025

departmental request) Authorizing the Director of Capital Projects to enter into a Project Development Agreement with the Board of Park Commissioners of the Cleveland Metropolitan Park District regarding the design, construction, and use for four trail projects located within the City of Cleveland; to grant consent to Metroparks to construct the improvements; to apply for and accept any gifts or grants from any public or private entity; authorizing any relative agreements; authorize the Commissioner of Purchasing and Supplies to acquire and accept real property and easements; and causing payment of the City's share to Metroparks.

RAISE PROJECT UPDATE & PROJECT DEVELOPMENT AGREEMENT

City Planning Commission
April 25, 2025



RAISE EAST SIDE TRAILS PROJECT



**Cleveland
Metroparks®**



SMITHGROUP



CHAGRIN VALLEY
ENGINEERING, LTD.

2023raise.cuyahogagreenways.org

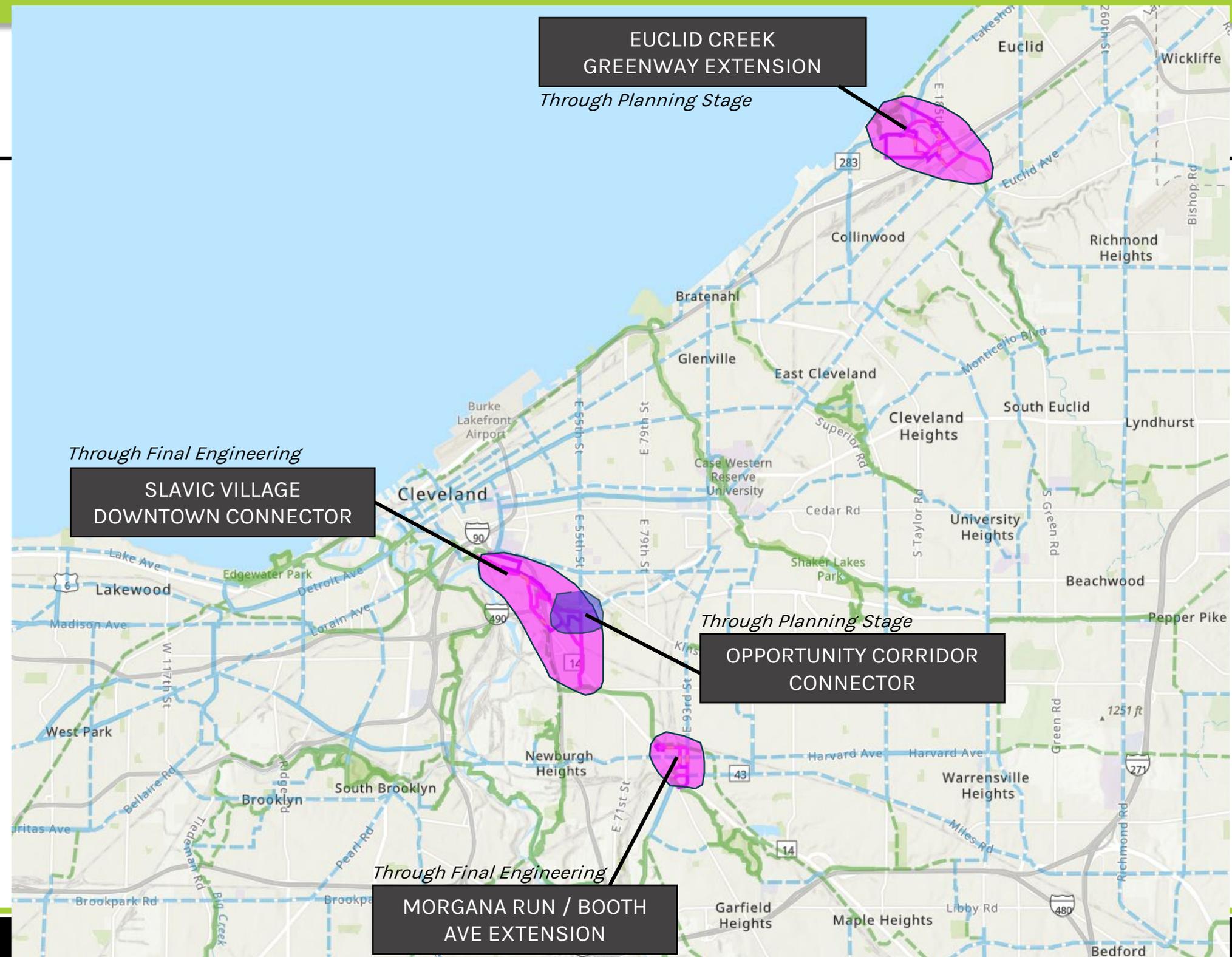
www.clevelandmetroparks.com/RAISEplanning

PROJECT AREAS



CUYAHOGA
greenways

- Builds on the Cuyahoga Greenways Plan (2019)
- Partnership with City of Cleveland
- These four projects will address **Critical Gaps** and **Regional Links** in the trail network
- Planning and design work funded by a federal **Rebuilding American Infrastructure with Sustainability and Equity (RAISE)** Grant
- Builds on prior trail plans



RAISE PLANNING GRANT

▪ Slavic Village Downtown Connector - North

Connects to existing trails leading into the downtown area and existing trail along I-77, will connect to existing Morgana Run Trail through future phase (Planning through Final Engineering)

▪ Morgana Run/Booth Avenue Extension

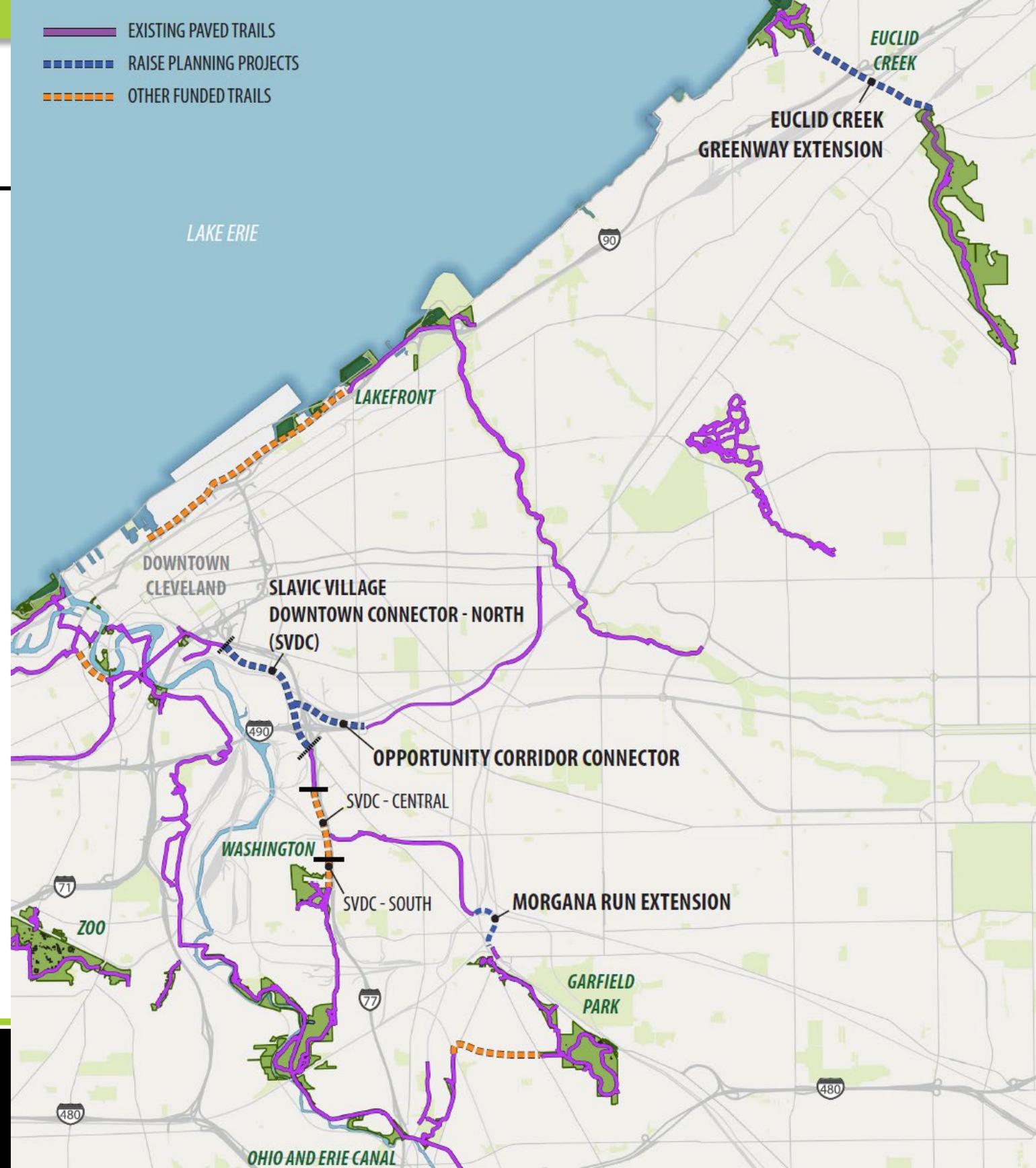
Completes a gap between existing Morgana Run Trail eastern terminus and Garfield Park Reservation – Mill Creek Falls area. (Planning through Final Engineering)

▪ Euclid Creek Greenway Extension

Completes connection between existing Euclid Creek Greenway and the lakefront portion of Euclid Creek Reservation (Planning only during RAISE Planning; Final Engineering funded; Construction Chardon to St. Clair funded)

▪ Opportunity Corridor Connector

Connects to Slavic Village Downtown Connector and to the existing trail at E. 55th St. (Planning only)



EXPERIENCES: EVALUATION CRITERIA

Connect to key recreational, economic, and civic destinations

Build accessible greenways that are safe and comfortable for all people

Support community health, resilience, and quality of life through green transportation infrastructure

Drive and attract economic growth

Connections to destinations (jobs, schools, recreation, stores, transit stops etc.)

Next to quieter streets with fewer cars

Opportunity for landscaping along the trail

Neighborhood support for trail

Direct route that is easy to follow

Visibility of the trail and to people on the trail with good lighting

Scenic views and vistas

Project Implementation (costs, maintenance needs, partners)

Comfortable and flat trail route

Physical safety and comfortable road crossings

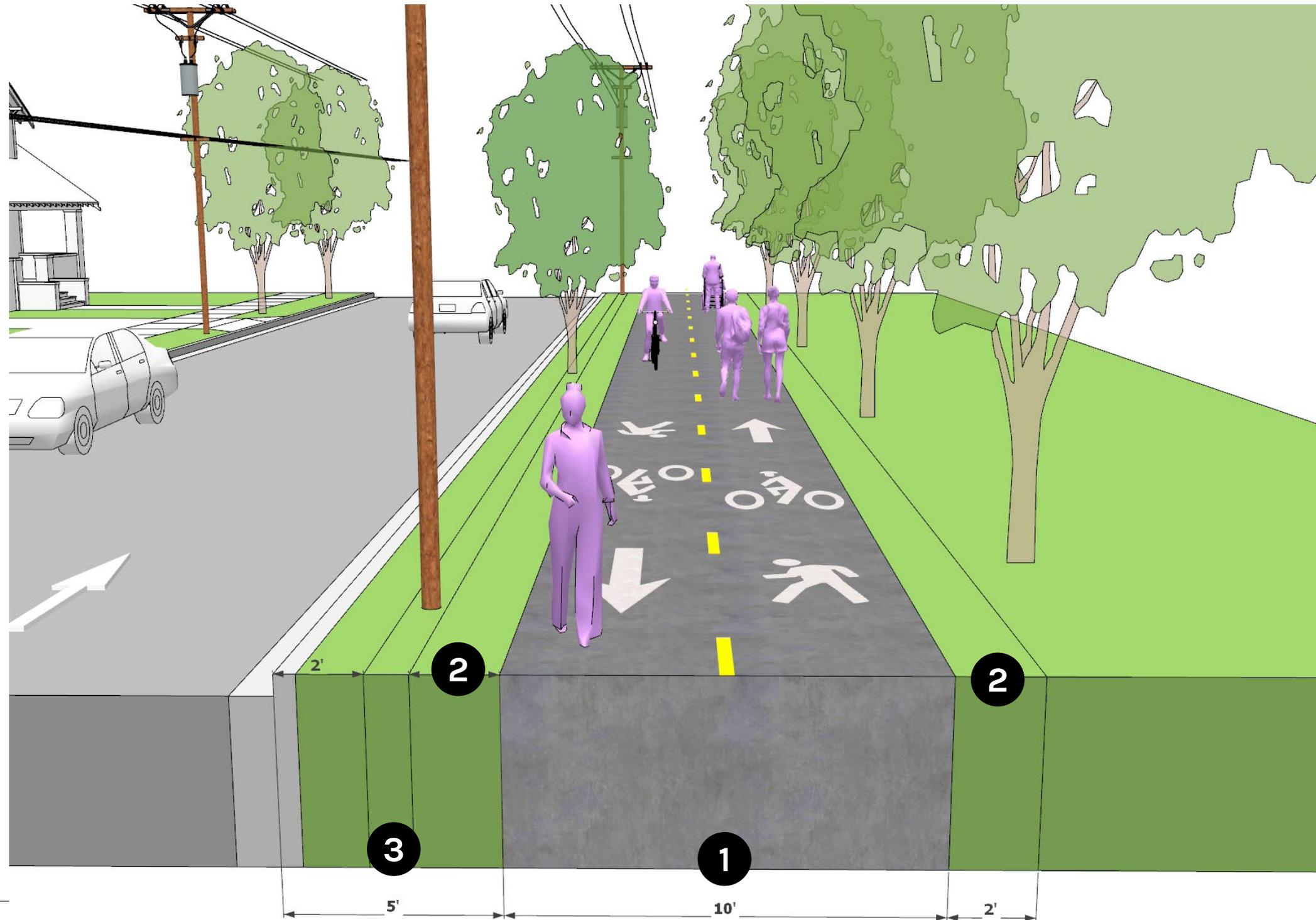
Encourages fitness and recreation

Technical Challenge (engineering constraints, permitting, complexity)

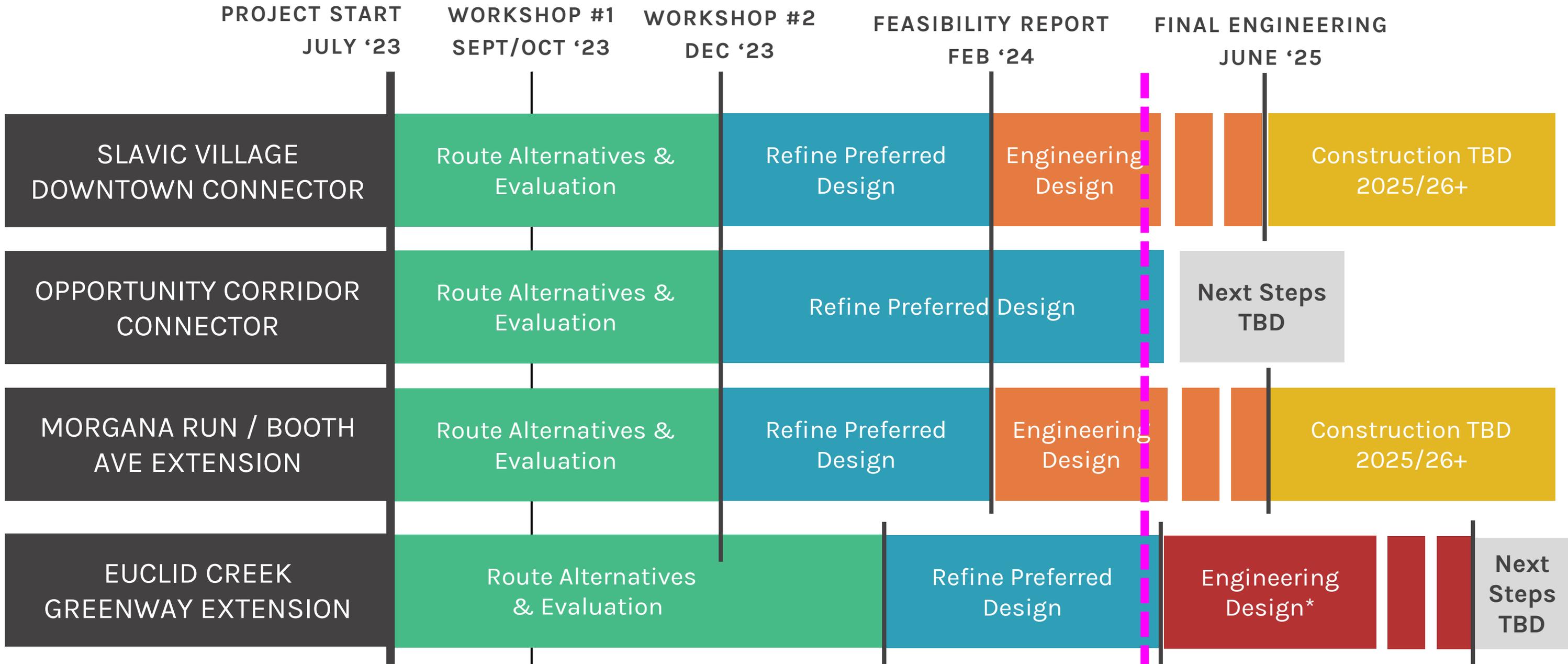
BASIS FOR TRAIL DESIGN

SHARED-USE TRAIL FOLLOWING THE STREET

- 1** 10-foot wide shared-use trail, asphalt
 - AASHTO requires a min. 10-foot trail width
 - ODOT requires a min. 10-foot trail width (or wider based on anticipated volumes)
- 2** 2-foot clear zones on either side of trail
- 3** 5-feet from face of curb to edge of trail for landscape zone
 - Allows for roadway and trail clearances
 - 4-foot min. needed to accommodate tree planting (per city standards)



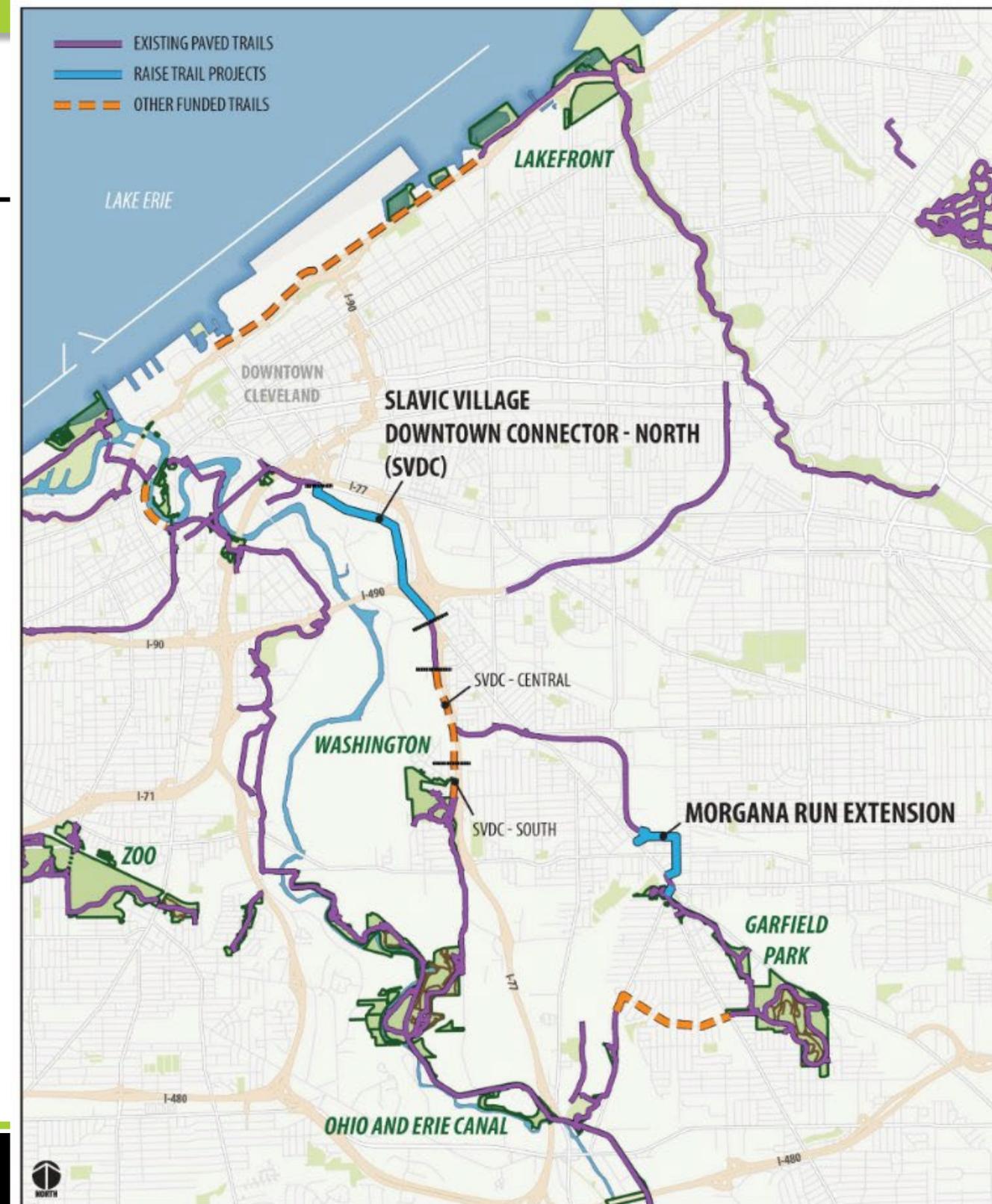
PROJECT SCOPE + TIMELINE



* ENGINEERING/DESIGN FUNDED OUTSIDE OF RAISE 2023 GRANT

RAISE CONSTRUCTION GRANT

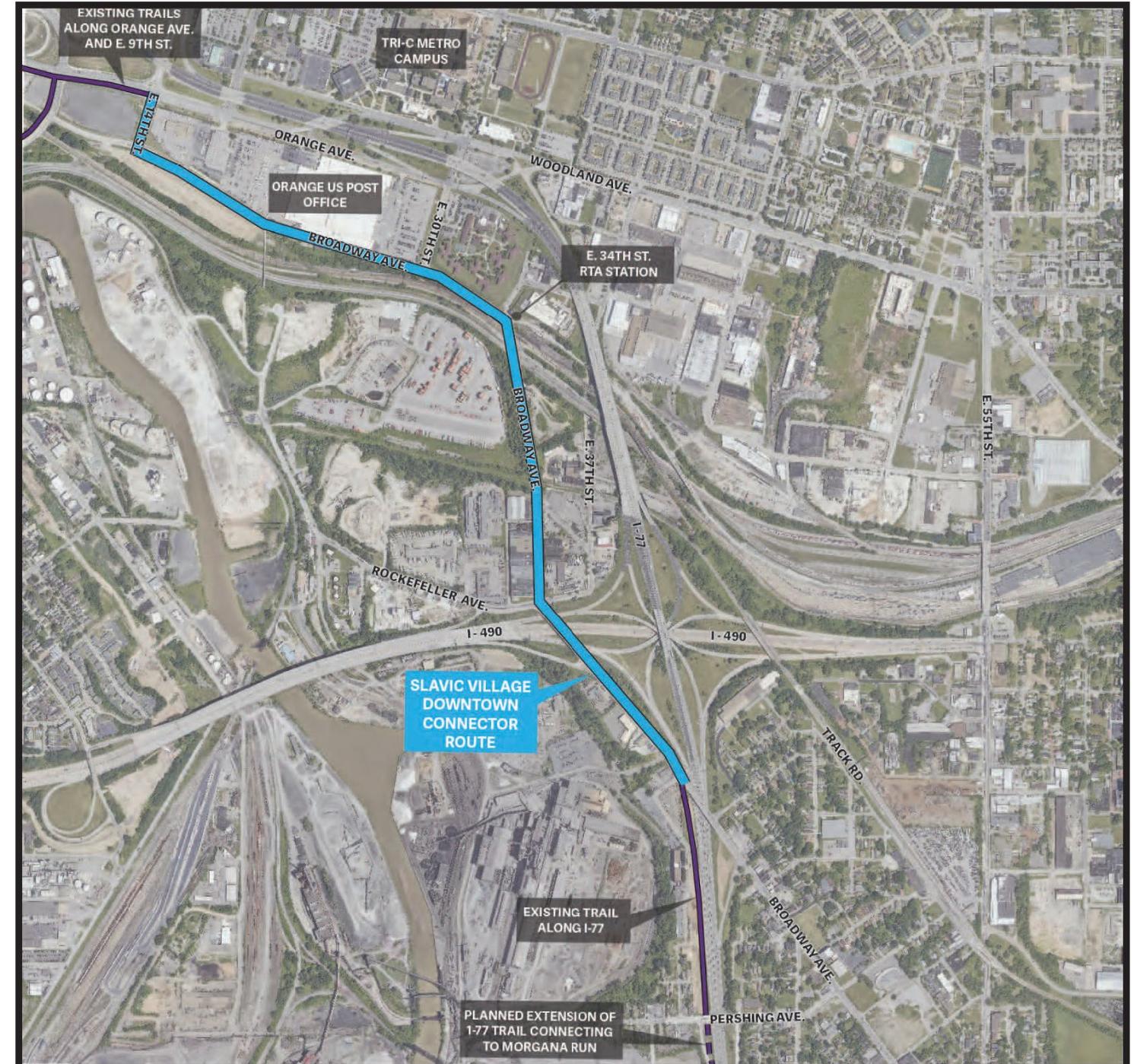
- \$19.5 million RAISE Construction Award - June 25, 2024
 - Slavic Village Downtown Connector - North
 - Morgana Run Extension
- Anticipated to bid project late 2025; construction to start early 2026, contingent on timing for federal grant agreement



SLAVIC VILLAGE DOWNTOWN CONNECTOR - NORTH

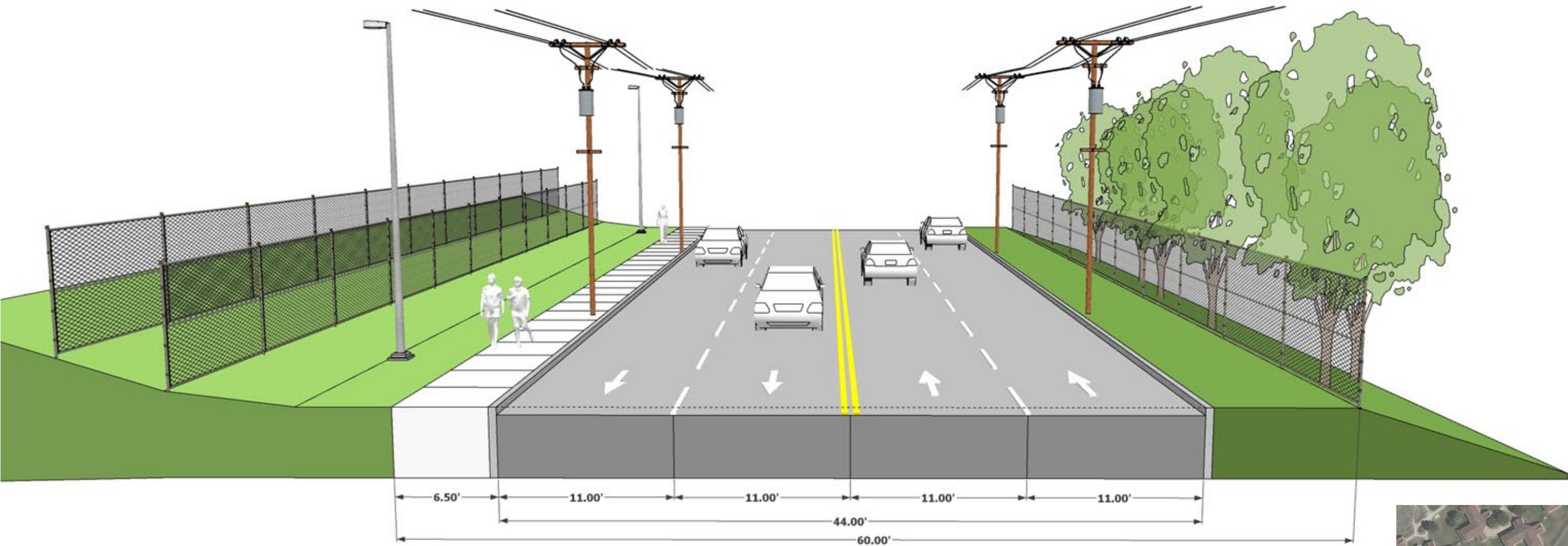
BROADWAY ALIGNMENT

1. Flatter route
2. Most direct
3. Better visibility to/from the trail
4. Opportunity to address safety and comfort concerns
5. More feasible to implement on a faster timeline
6. Fewer agency coordination/permitting requirements
7. Public ROW and City parcels



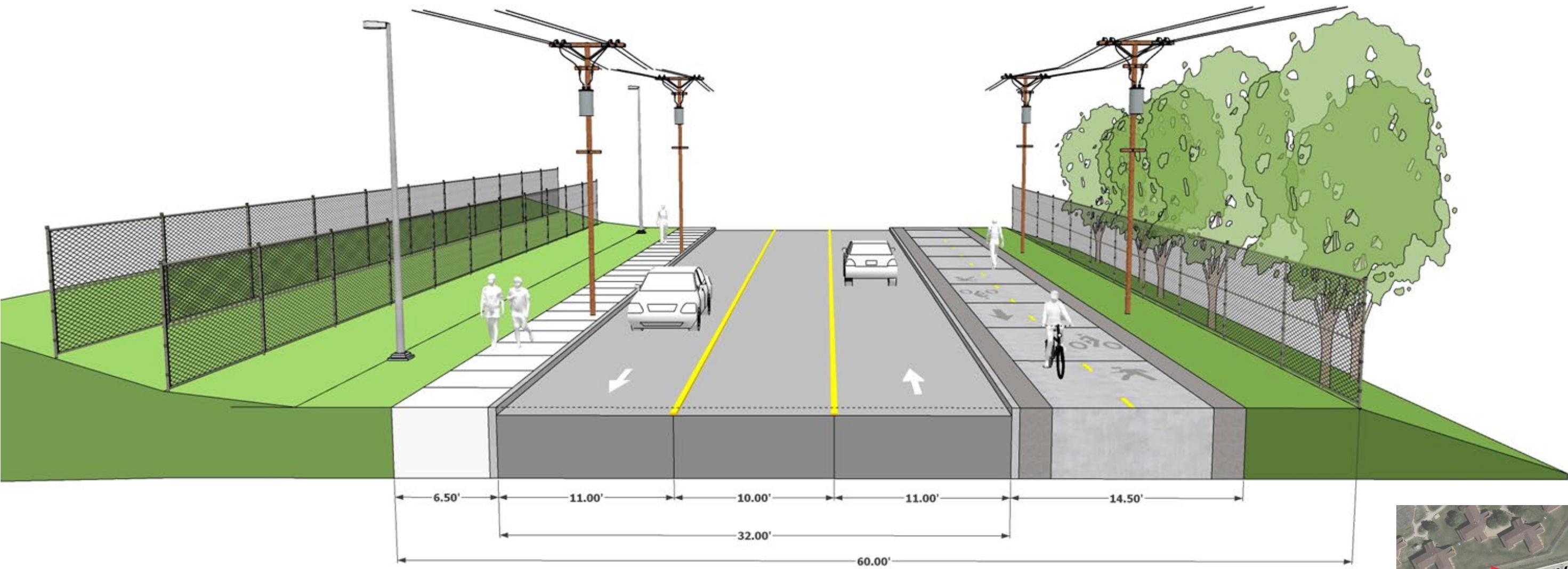
SLAVIC VILLAGE DOWNTOWN CONNECTOR

BROADWAY BLUFF NEAR 30TH: EXISTING



SLAVIC VILLAGE DOWNTOWN CONNECTOR

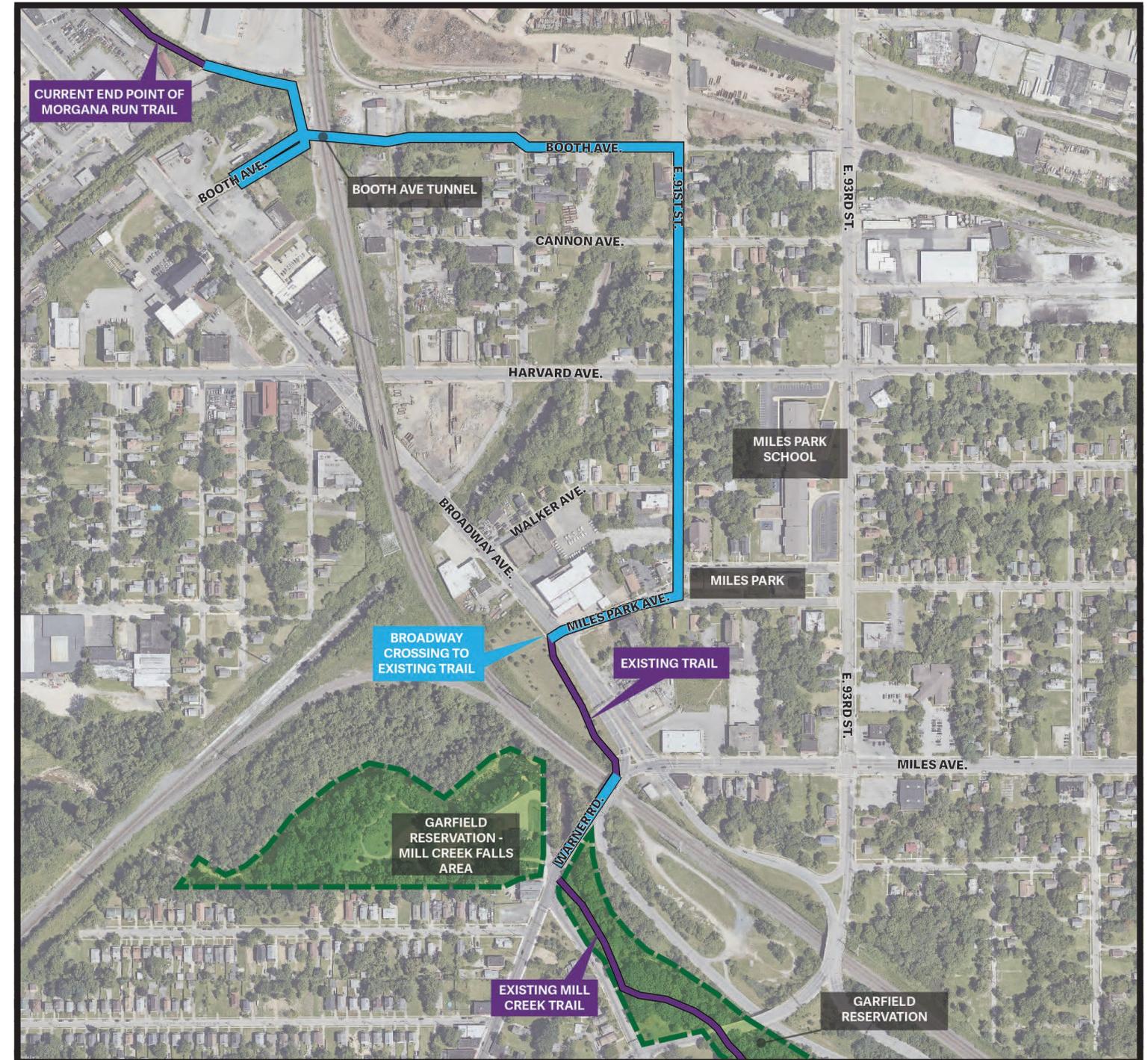
BROADWAY BLUFF NEAR 30TH: PROPOSED



MORGANA RUN/BOOTH AVE. EXTENSION

91ST ST. ALIGNMENT

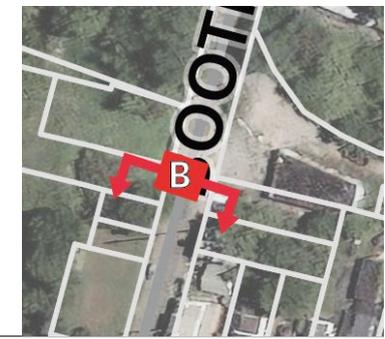
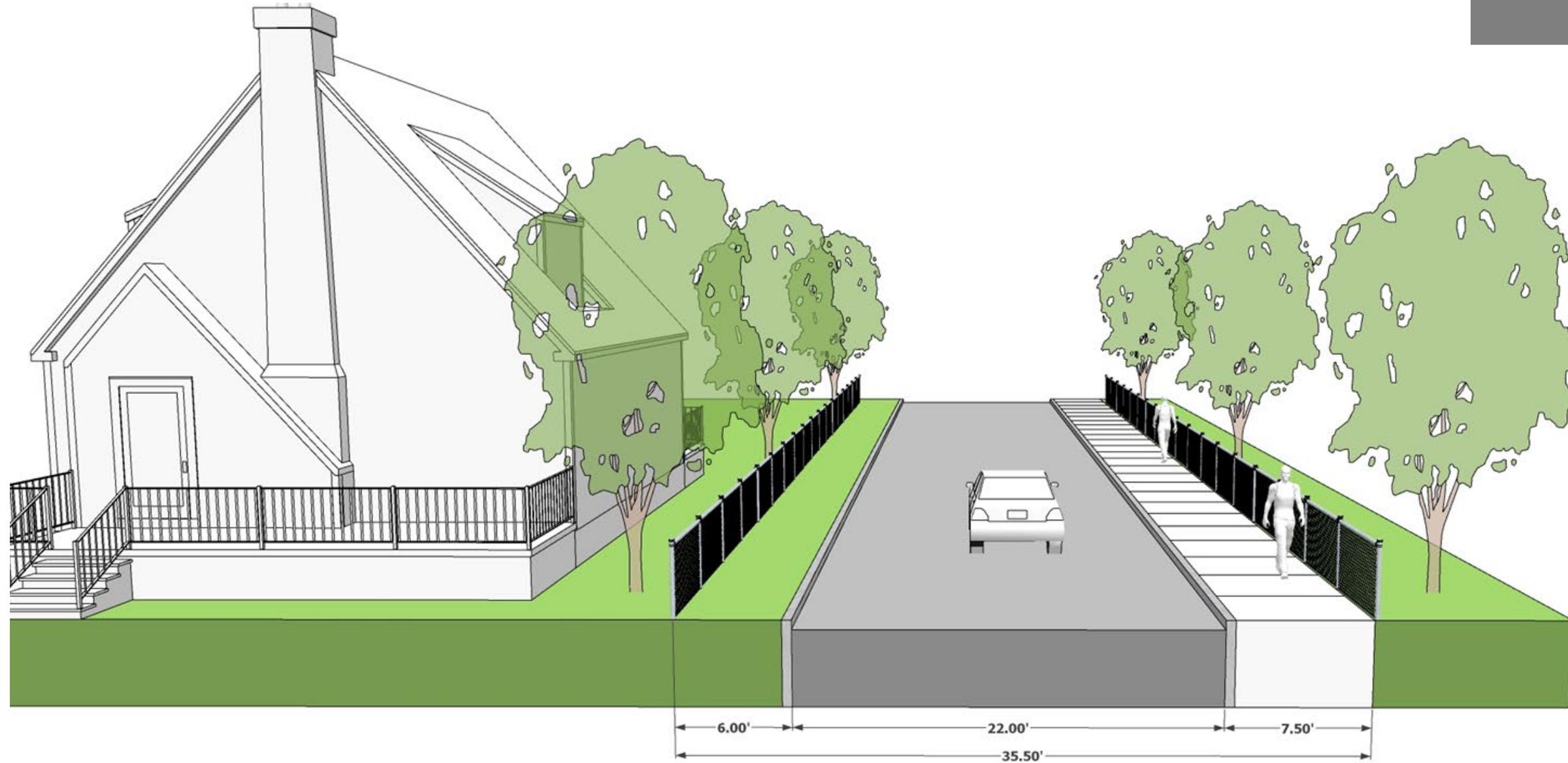
1. Preferred route by survey respondents
2. On a calmer, less stressful street
3. Connects to Union Miles plaza space
4. Utilizes existing trail connection and improves crossing at Broadway at Miles Park
5. Shorter, more direct overall route
6. Not contingent on ODOT bridge replacement work for 93rd St Bridges
7. Thrive 105 project can transition to the trail on 91st



MORGANA RUN/BOOTH AVE. EXTENSION

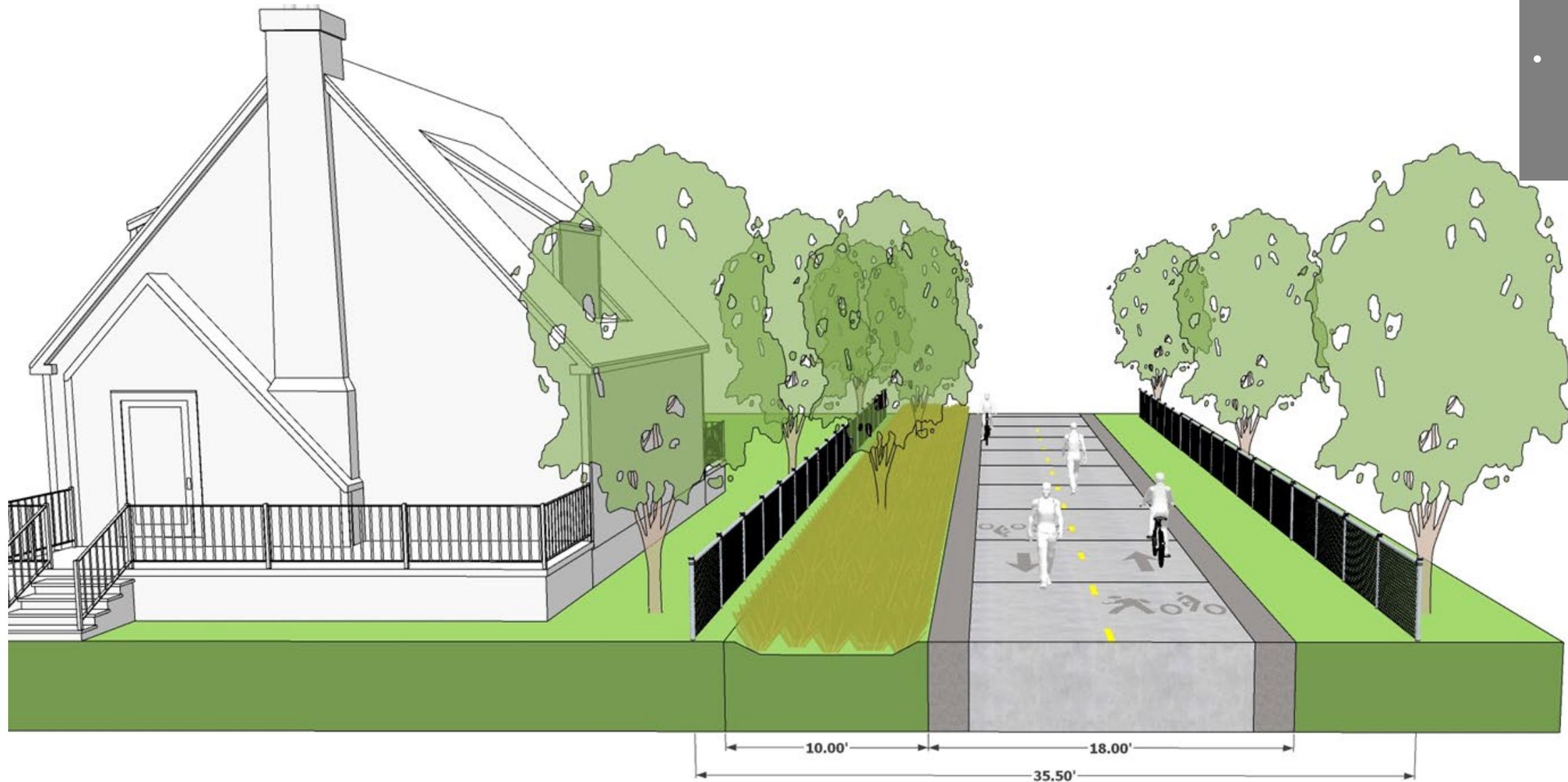
BOOTH: EXISTING

- 1-way traffic currently for most of Booth
- Utility poles adjacent to the street in some locations

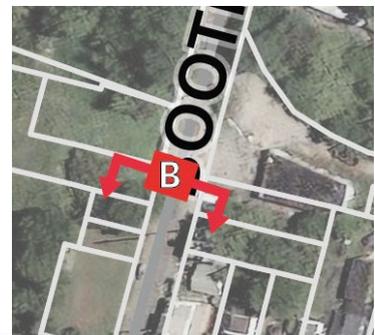


MORGANA RUN / BOOTH AVE. EXTENSION

BOOTH: PROPOSED



- Some sections of Booth don't require property access – could narrow road to provide bicycle connection and have separate sidewalk.
- Alternative to remove vehicle access and provide shared use trail.

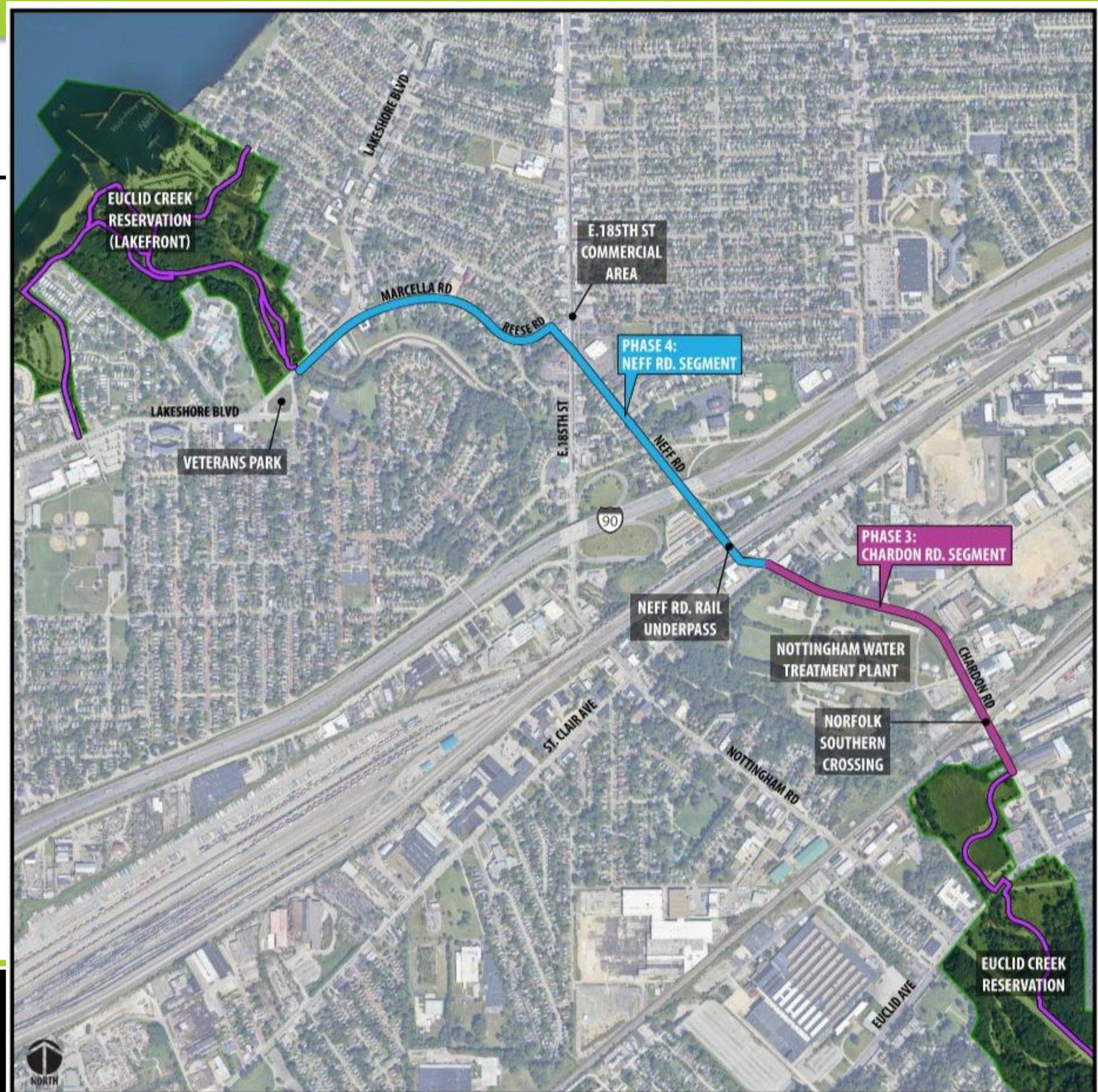


FOLLOW-ON PROJECTS

■ Euclid Creek Greenway Extension

Completes connection between existing Euclid Creek Greenway and the lakefront portion of Euclid Creek Reservation

- Final Engineering funded for full extent – City of Cleveland
- Construction funded for Chardon to St. Clair – Congestion Mitigation and Air Quality (CMAQ) improvement program through NOACA and Clean Ohio Trail Fund through Ohio Department of Natural Resources

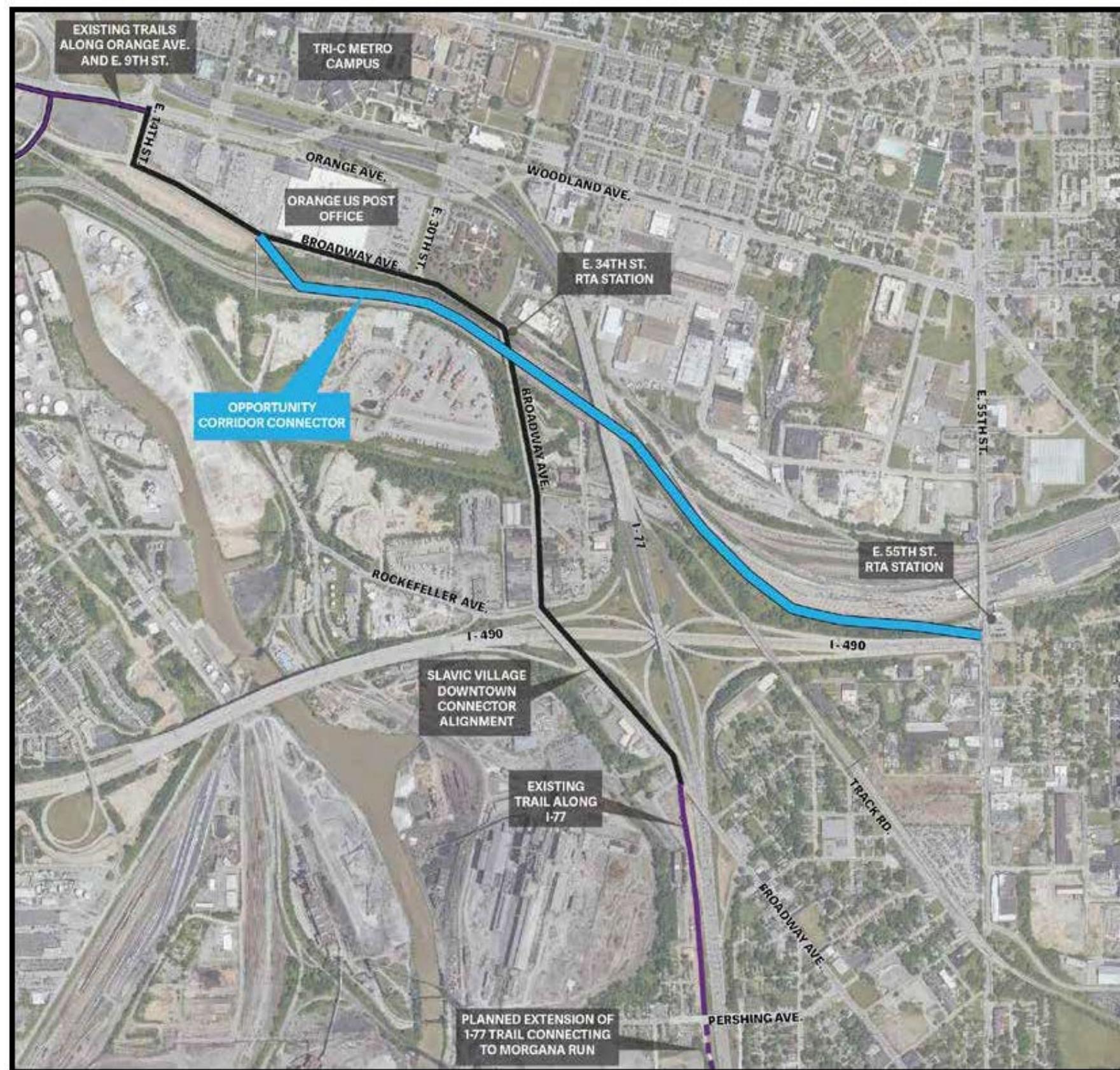


FOLLOW-ON PROJECTS

- **Opportunity Corridor Connector**

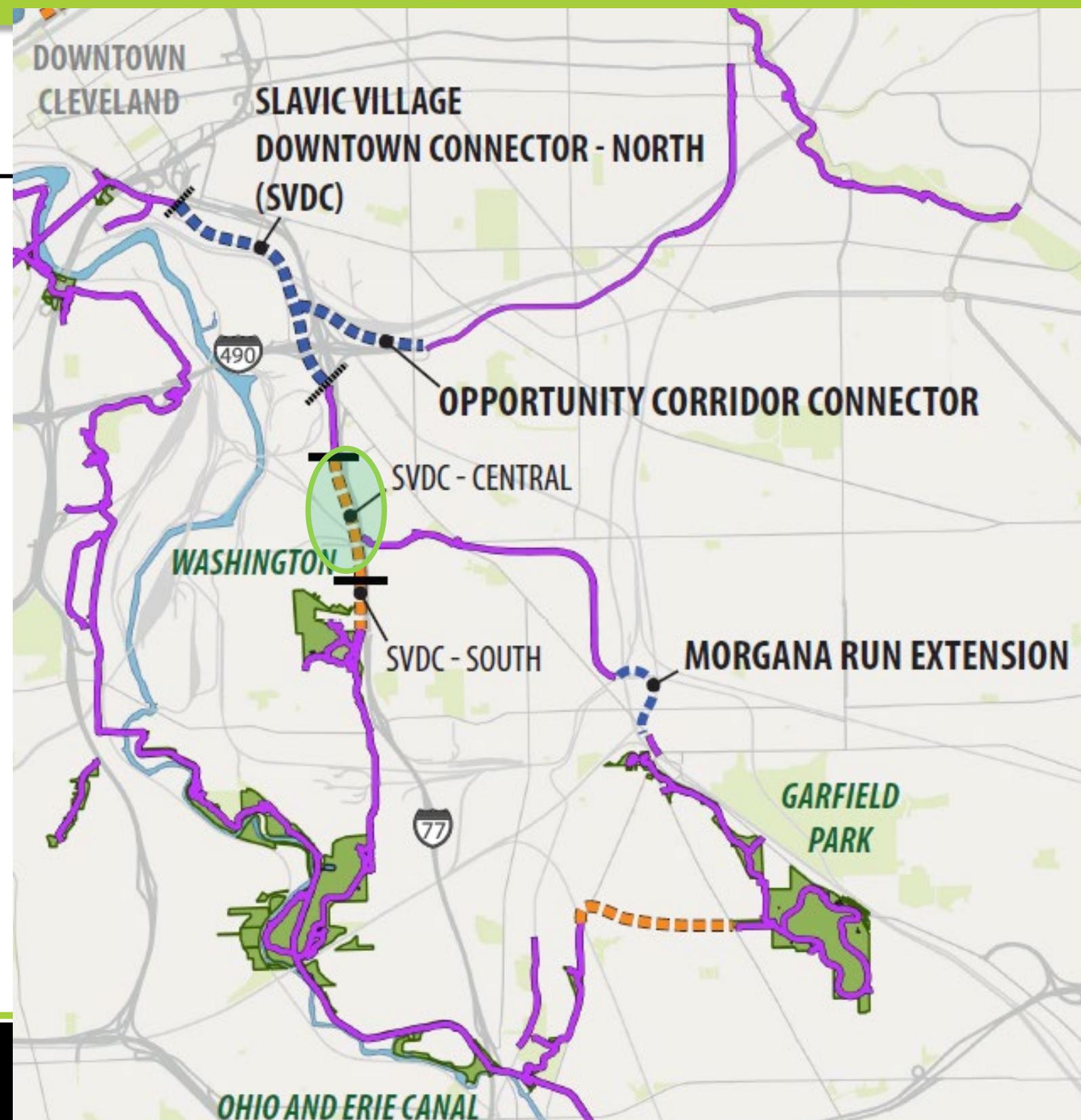
Connects to Slavic Village Downtown Connector and to the existing Opportunity Corridor trail at E. 55th St.

- Additional funding to be sought to finish design and engineering pending conclusion of RAISE Planning Grant



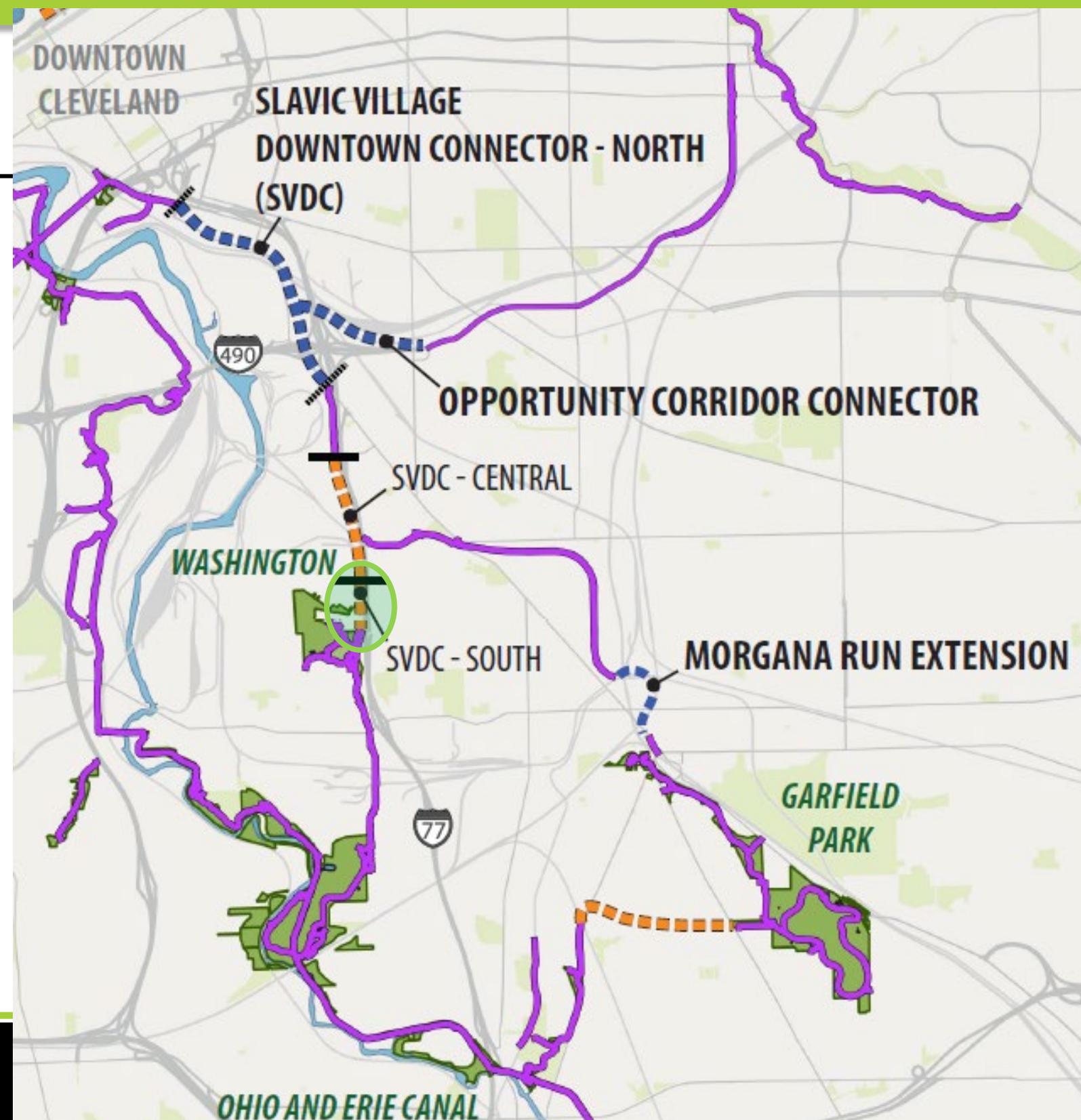
FOLLOW-ON PROJECTS

- **Slavic Village Downtown Connector – Central**
 - The SVDC Central will connect the existing trail at Pershing Avenue to Chard Avenue
 - The proposed route will follow along I-77 and will be built by ODOT as part of the reconstruction of I-77
 - Includes underpass connection below I-77 and E. 49th St. to existing Morgana Run Trail
 - Tentatively, construction is scheduled to have a 5-year duration



FOLLOW-ON PROJECTS

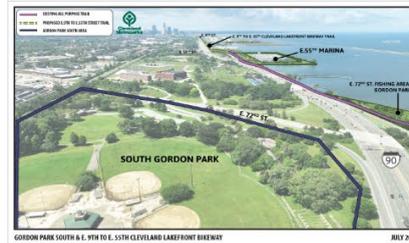
- **Slavic Village Downtown Connector – South**
 - The SVDC South will connect the Central section at Chard Avenue to Fleet Avenue and existing Cleveland Metroparks trail
 - Planning phase is a partnership between Cleveland Metroparks and City of Cleveland that will conclude in 2024
 - Design and engineering will be completed by City of Cleveland in 2025
 - City of Cleveland has construction funding through NOACA



PROJECT DEVELOPMENT AGREEMENT

- Purpose is to outline roles and responsibilities related to:
 - Financial responsibilities
 - Match commitment
 - Project overages
 - Design
 - Construction and implementation
 - Long-term maintenance agreement

PLANNING & DESIGN WEBPAGE FOR PROJECT UPDATES



NORTH MARGINAL TRAIL



BARGE 225

Euclid Creek Reservation



EASTERN LEDGE TRAIL

Euclid Creek Reservation



EUCLID CREEK GREENWAY

Euclid Creek Reservation



**CLEVELAND HARBOR
EASTERN EMBAYMENT
RESILIENCE STRATEGY
(CHEERS)**

Lakefront Reservation



**HERITAGE PARK AND
RIVERGATE PARK BOAT
DOCKS**

Lakefront Reservation



**GARFIELD BOULEVARD
CONNECTOR TRAIL**

Garfield Park Reservation



**GARFIELD PARK POND
RESTORATION AND
PROGRAM CENTER**

Garfield Park Reservation

www.clevelandmetroparks.com/planning

Ord. No. 498-2025 (introduced by Council Members McCormack, Bishop, Hairston, and Griffin – by departmental request) Authorizing the Mayor and the Commissioner of Purchases and Supplies to sell certain City-owned properties no longer needed for the City’s public use located in the vicinity of the I-90 Central Interchange from East 9th Street to Carnegie Avenue for the purpose of constructing improvements to the interchange.

Apr 25, 2025

Cleveland City Planning Commission

Real Estate Legislation
April 25, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb



Ord. No. 498-2025

Sale of City owned property to ODOT to construct Interstate (IR) 90 Central Interchange (CCG3A) Improvements

Legislative Purpose

Authorizing the Mayor and the Commissioner of Purchases and Supplies to sell certain City-owned properties no longer needed for the City's public use located in the vicinity of the I-90 Central Interchange from East 9th Street to Carnegie Avenue for the purpose of constructing improvements to the interchange.



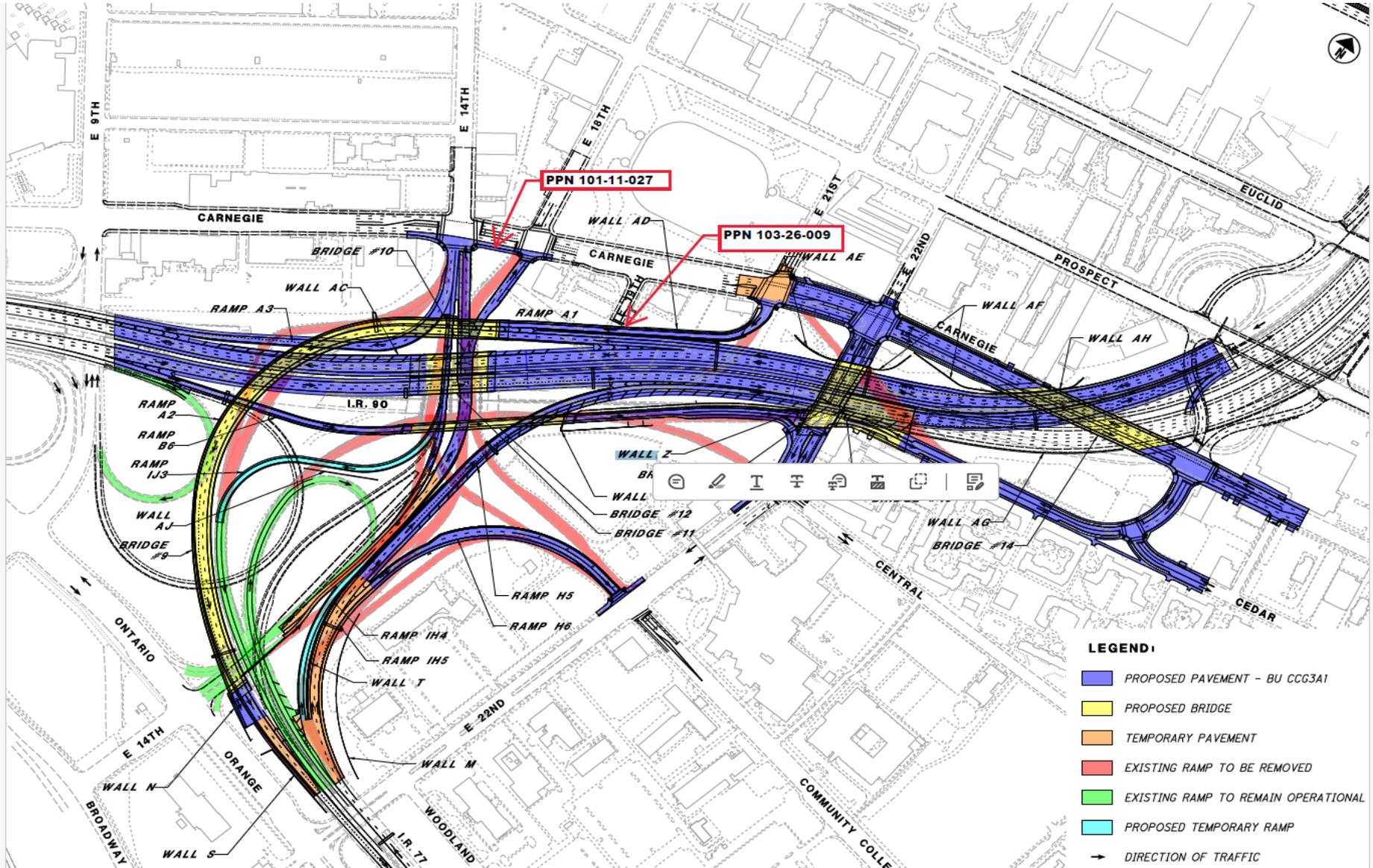
CITY OF CLEVELAND
Mayor Justin M. Bibb



Ord. No. 498-2025

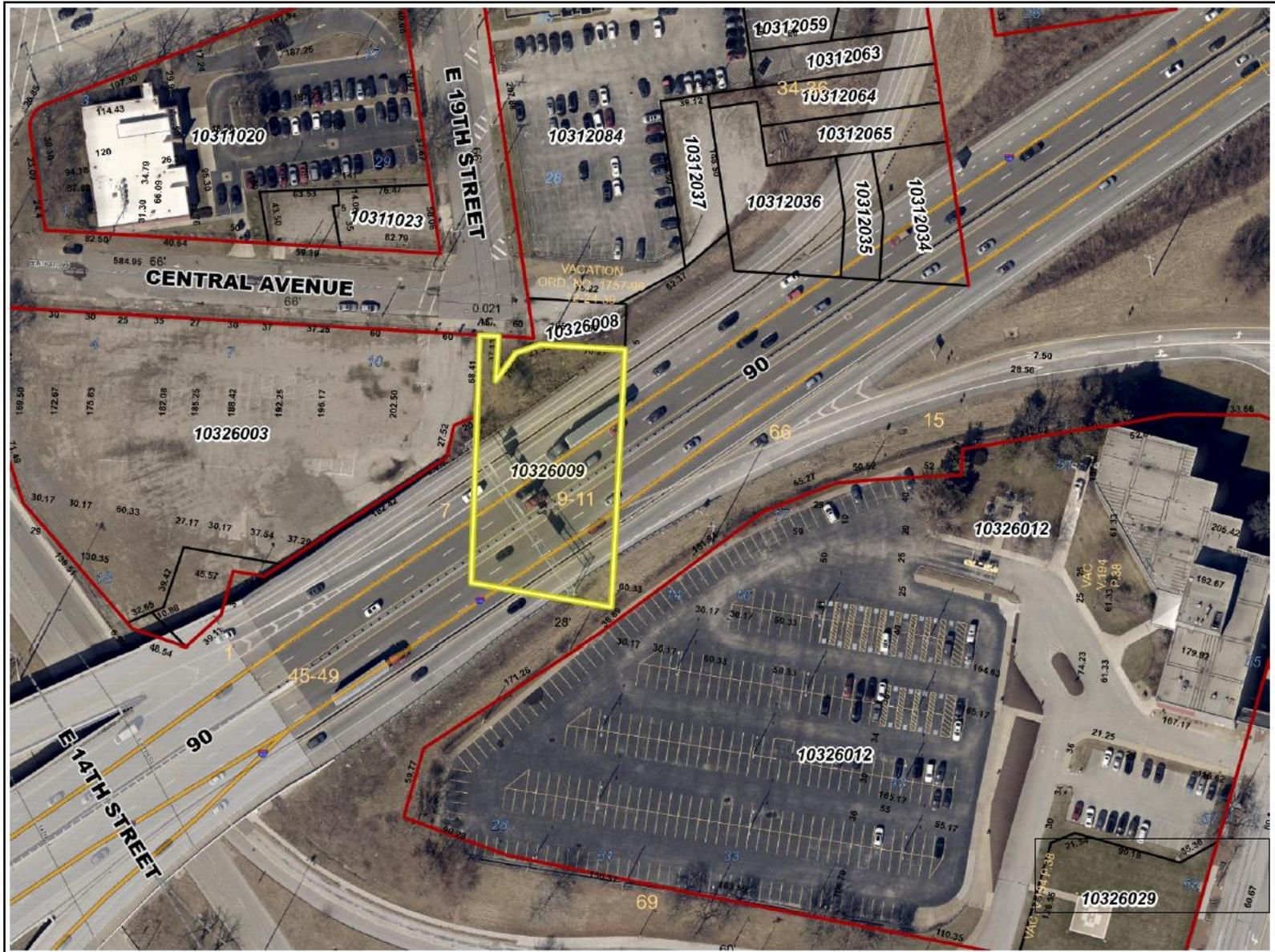
Sale of City owned property to ODOT to construct Interstate (IR) 90 Central Interchange (CCG3A) Improvements

Location Map



Ord. No. 498-2025

Sale of City owned property to ODOT to construct Interstate (IR) 90 Central Interchange (CCG3A) Improvements



Ord. No. 498-2025

Sale of City owned property to ODOT to construct Interstate (IR) 90 Central Interchange (CCG3A) Improvements

- ODOT estimates project will begin April 2026
- Located in Ward 5 - Councilman Richard A. Starr is supportive of the project and the sale of City property.



Ord. No. 504-2025 (introduced by Council Members Conwell, Griffin, Santana, Kazy, McCormack, Slife, Maurer, and Gray) Establishing a moratorium on the issuance of use permits and building permits, certificates of occupancy, sign permits, tobacco retail sales licenses, and other license or permit applications for smoke shops.

Apr 25, 2025

Smoke Shop Moratorium

504-2025



On April 14th, 2025, City Council passed the following 4 pieces of legislation that were signed into law on April 16th, 2025 by Mayor Bibb.

- **Ord No. 186: Relates to illegal distribution of cigarettes, and other tobacco and nicotine products in Business Code – Chapter 607. (Update to state language Tobacco 21)**
- **Ord. No. 187: Relates to tobacco retail licensing – Chapter 235 (Licensing system – October 2025)**
- **Ord. No. 188: Relates to location of smoke shops – Chapter 347 (Zoning Restriction – in effect)**
- **Ord. No. 189: Relates to window signage coverage – Chapter 350 (Window covering – in effect)**



This Council establishes a moratorium on the issuance of use permits and building permits, certificates of occupancy, sign permits, tobacco retail sales licenses, and other licenses or permits to establish a Smoke Shop as a new use until 180 days after the effective date of Chapter 235A, Tobacco Product Sales Licensing. “Smoke Shop” means any retail establishment at which twenty percent (20%) or more of floor, shelf, and/or display area(s), individually or in the aggregate, is used for the sale of Smoke Shop Products.



Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Ord. No. 423-2025 (introduced by Council Member Gray) To add the name

Jonah Moore, Sr. Way as a secondary and honorary name to the Dickens Avenue

between East 93rd Street and Martin Luther King, Jr. Drive.

Apr 25, 2025

Ord. No. 426-2025 (introduced by Council Members Kazy and Griffin – by departmental request) Apr 25, 2025
Determining the method of making the public improvement of maintaining and improving the interior and exterior of various buildings and sites, including but not limited to, roofs and related building and site systems; authorizing the Director of Public Utilities to enter into one or more public improvement contracts to construct the improvement; authorizing the Director to employ one or more professional consultants necessary to design the improvement; and authorizing the Director to apply for and accept any grants, including but not limited to, grants from Northeast Ohio Regional Sewer District for Community Cost-Share Program funding, for a period of two years.

Ord. No. 468-2025 (introduced by Council Members Conwell and Griffin – by departmental request) Authorizing the Director of Public Health to enter into a lease of certain space located at the Northern Ohio Blanket Mills building at 3466 St. Rocco’s Court, Cleveland, Ohio, with Blanket Mills Prime Tenant, LLC, or its designee, for a term of ten (10) years, for the public purpose of establishing and operating a health care clinic.

Apr 25, 2025

Ord. No. 499-2025 (introduced by Council Members Spencer, Hairston, and Griffin – by departmental request) Authorizing the Director of Economic Development to enter into a Tax Increment Financing Agreement with Shoreway Tower, LLC, and/or its designee, to assist with the financing of the Shoreway Tower Project to be located at 1200 West 76th Street; to provide for payments to the Cleveland Metropolitan School District; and to declare certain improvements to real property to be a public purpose.

Apr 25, 2025

Ord. No. 501-2025 (introduced by Council Member McCormack) Changing the Use, Area, and Height District of parcels of land along the western side of West 26th Street south of Chatham Avenue and north of Monroe Avenue as shown on the attached map (Map Change 2689)

Apr 25, 2025

Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Apr 25, 2025

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

Next Meeting: May 2, 2025